



BOSSERT HOUSES

LOUIS BOSSERT & SONS, Inc. B'KLYN. N.Y.

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ONE OF THE FLEET OF SHIPS CARRYING LUMBER TO THE BOSSERT
YARDS IN BROOKLYN FROM PACIFIC AND ATLANTIC PORTS

BOSSERT buys in enormous quantities in the cheapest lumber markets of the world, saves much duplication of effort and manufactures by-products from the waste material which the Owner is obliged to pay for when random lengths of lumber and trim are delivered in the old fashioned way.

THE OWNER saves the cost of plans and specifications. He saves thru economies in planning and construction which only many years of experience can accomplish without detriment to the work. He further saves thru the enormous amount of machine work performed on the material before it leaves the Bossert Mills, thereby insuring speedy erection and a consequent saving in erection costs.

THE BUILDER saves his own time, which is his main asset. He saves hundreds of hours of mechanics' time. He saves the cost of errors in construction and the consequent cost of replacement!

LOUIS BOSSERT & SONS Inc.

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PRINTED
IN THE
UNITED STATES
OF
AMERICA

BROOKLYN, N.Y.-U.S.A.

BOSSERT HOUSES

READY CUT
SECTIONAL
EXCELSIOR



LOUIS BOSSERT & SONS, INC.
Grand Street & Newtown Creek
BROOKLYN, N.Y.



Fleur-de-lys

THIS beautiful modern American home was presented to the Republic of France, fully equipped and furnished in every detail with the most modern household devices for every purpose, by a body of American manufacturers, to be exhibited at the Exposition of Household Appliances and Labor Saving Devices at the Grand Palais, Paris, in February 1926, the object being to acquaint the people with the modern devices that go to make a home beautiful and comfortable with as little labor as possible.

This great achievement of building a full sized ten-room Modern American Home in sections, completely built at the factory, assembled on Eastern Parkway, Brooklyn, N. Y., complete in every detail, exhibited for one month to the thousands of visitors and then again taken apart, shipped to Paris, France, to be again set up and displayed at the exhibition of Household Appliances and Labor Saving Devices at the Grand Palais, Paris. It will then be donated to a

French family, designated by the Republic of France, where it will be assembled for the last time to stand through the years as a monument not only to the high regard of the people of the two great republics for each other but also as a definite, practical illustration of the wonderful achievements of the manufacturers of this country in home building and furnishing.

That a full sized, beautiful, practical ten-room American house can be built in sections, assembled and complete in every detail at three distinctly different points, thousands of miles apart, is made possible by the Bossert patented construction, which is used on all Bossert sectional houses.

It is a happy illustration that this beautiful Bossert house should be used to typify not only the most artistic in appearance, convenient, practical and ideal in arrangement but also that it meets every requirement of the European countries for the solidity, strength and durability of building which is so well known throughout the world.

SEE FLOOR PLANS AND DESCRIPTION ON PAGE 30

*An International Achievement in
Sectional Houses*



Foreword

JN offering this new edition of our catalogue we have endeavored to make it clear to you how different Bossert houses are from any other houses built.

Few men and practically no women understand an architectural drawing nor are they familiar with the technical names and terms used by architects, builders, contractors and manufacturers of houses to designate these various details of construction in a house, so while we cannot avoid the use of technical terms, we have endeavored to illustrate the construction of the Sectional houses in such a manner that they will be readily understood by anyone.

In buying your house, which with most families is the most important purchase they ever make, you must take into consideration the qualifications of the concern with whom you deal, to supply you with a house which will meet the requirements of your particular needs well within your means.

WHO WE ARE

Louis Bossert & Sons, Inc., have been established in Brooklyn since 1859, and therefore are one of the oldest as well as the largest lumber plants in the East. Probably more homes have been built from material supplied by this company than from any other concern, as it has always been the policy to make it possible and easy for every man to own his own home.

The catalogue describes three distinctively different forms of construction which are designated as SECTIONAL, READY CUT and EXCELSIOR, and we would like you to read carefully the description of each of these three forms of construction in order that there will be no confusion in your mind as to which we are speaking of.

It is also with a great deal of pride that we present this new catalogue to the public; pride in the design, construction and price of the buildings contained herein; pride in the letters which we have received from thousands of happy, gratified customers who are living in Bossert houses, and pride in the ever increasing demand for these gems of houses. Each year adds several thousand more families to the long list who are living in Bossert houses, a great percentage of whom have given up apartments and flats in the crowded, congested centers of the cities, to enjoy for all time nature's greatest gifts to mankind: sunshine, fresh air, green grass and trees.

There is absolutely no reason why every normal, healthy family should not own and occupy a home of their own and divert the money which they are paying for rent into paying for their own home, and it is our object to assist you in every way, as we have assisted thousands of other families, to own your own home and be comfortably and happily installed therein, so we ask you to honestly and candidly write us of your situation, the kind of a house you would like to have, where situated, and what your financial resources are and we will gladly help you and advise you to your interest only. Fill out the enclosed information blank and give us all the information as regards your own personal situation. We have helped thousands of families to solve their home buying problems and are very familiar with all of the difficulties and obstacles which the average family is confronted with and it will afford us much pleasure to have our experts answer your questions, give you advice and make suggestions without any cost to you or any obligation whatsoever.



*Standing Together We Have Stood the
Test of Time*





It is the duty of every family to own their own home, and it is such a logical solution to the living problems of today that no family of intelligence should be paying the high rents that are asked for living quarters.

It is a simple matter to own your own home by acquiring the lot desired and arranging with your local Building and Loan Society or Trust Company for a building loan which will enable you to purchase a Bossert house and pay off your mortgage in weekly or monthly installments. You will find that by this arrangement the money which you would have payed in rent will buy you a home which in a short time you will own outright, free and clear, and be independent of landlords forever.

Bossert houses are sold on the following terms: 25% or one-quarter of the total price must accompany each order as a deposit and the balance paid on the presentation of the bill of lading, where the house is shipped; or where we make the delivery with our own trucks the balance is due 48 hours after notification that your house is ready for delivery.

This is necessary owing to the very low price at which these wonderful houses are sold to you.

The tremendous buying facilities of Louis Bossert & Sons, Inc., the vast highly trained organization which is the heart of this institution, the men in the forests of China, Russia, Africa, South America, Central America, Mexico, British Columbia, besides every state in the United States where lumber is produced, the large fleet of ships which bring this lumber, at one-half freight cost, from the forest direct to our plant, covering 32 acres of ground with over a half of mile of dock, the skilled men who direct the operation of the most modern, intricate,

accurate machines ever devised for working the wood into every known shape for the finished product; the corps of skilled draftsmen, estimators, managers, superintendents, foreman, etc., effects the most economical buying and manufacturing conditions *which together with all salvage and saving of waste materials accrues to the customer.* All waste material from the various departments of this institution are utilized in one department or another, and this tremendous saving or salvage accrues to you. The nature of the product (lumber) is such that it can only be salvaged by utilizing all of the waste material as it is cut into shape. This waste material cannot be melted up like iron or other metals nor can it be mixed with other ingredients like cement, but each board after being cut to shape and size will leave a refuse which can only be utilized profitably where the concerns have various departments manufacturing an assortment of commodities of all sizes and shapes.

Please understand first, last and always that regardless of which house you buy we at all times consider only your interest and welfare, that we want you to: first, own your own home; second, to buy the home that is best suited to your needs at the price you can afford to pay; third, that every house which we sell is conscientiously, honestly, and practically the best house that can be bought for that amount of money; fourthly, every house sold by us is absolutely guaranteed to be the best of materials and workmanship and to give you absolute satisfaction from every angle.

Please read this catalogue carefully, study the three methods of erection; select the building you desire, fill out the enclosed information blank and let us help you.

LOUIS BOSSERT & SONS, Inc.

Brooklyn, N. Y.

Love Culminates in a Home



BOSSERT
HOUSES



THE BOSSERT SECTIONAL HOUSES have been on the market for a number of years and have established a reputation altogether in a class by themselves, as, being a patented construction, there are no other houses like them.

They are entirely built at the factory and shipped to you in sections which you bolt together, making the strongest construction of a house that has thus far been devised.

The beauty of design and the scientific arrangement of rooms for the convenience of house-keeping as well as for economic construction have always been outstanding features of the Bossert houses. They are designed by one of America's foremost architects and are conceded by all authorities as being exceedingly artistic as well as practical. Great quantities of them have been sold as guest cottages, chauffeur cottages, and other auxiliary buildings to the most pretentious estates in this country. Numbers of them are being used in the tropical countries and south of the Equator and several of them are in constant use north of the Arctic Circle; they have also been placed on mountain peaks in wild countries where it was impossible to build a house by the ordinary means, and they have therefore been subjected to the most severe test that it is possible to give to a building and they have always withstood the test of time and the elements perfectly.

While these severe and unusual conditions are gratifying to the manufacturers as well as to the customers, the greatest achievement of the Bossert houses is the thousands of happy families who have been able to have a charming, artistic home of their own at a moderate price well within their means by virtue of the Bossert Sectional Houses.

In order that they may be sold at the very low prices which are asked for them, it has been necessary to build these houses in quantities, and it has never been a desire of the manufacturers to increase the cost of these houses by carrying in stock a great number of designs which are substantially the same for practical purposes, and you will therefore find, in sectional houses illustrated in this catalogue, each house shown is

a decidedly different character of house from any of the others. Every house is sold on an absolute guarantee of satisfaction from every angle, which guarantee is backed by fifty-seven years of reputation and financial standing of Louis Bossert & Sons, Inc.

A Bossert Sectional House is a complete house ready to set on your foundation, and if it were possible to ship and handle it whole it would be delivered to you like an automobile ready for use, but as it is obvious that it could neither be shipped nor handled in its erected form it is separated into sections which are bolted together, thereby providing the finished, complete house.

There is no carpenter work required to erect the sections of these houses, merely following the instructions which are so easy to understand, bolting one section to another until all sections are in place and your house is finished.

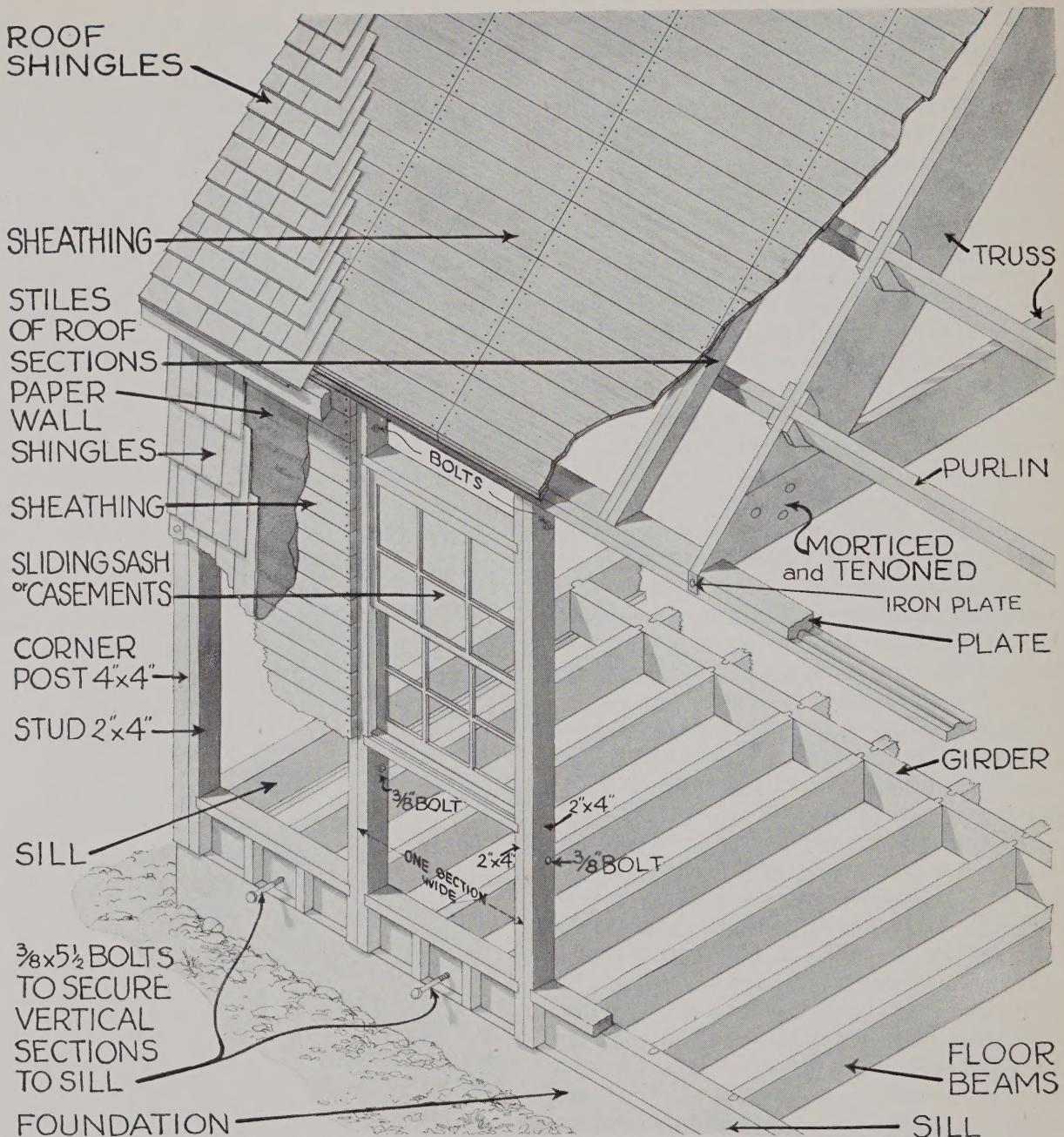
For example, the windows are ready for use as soon as the section containing them are in position—merely throw open the shutters and there is the window glazed, and hung, ready for you to slide the sash up or down as desired. The doors are already hung ready to be opened—everything is complete ready for use, the floor being made in SECTIONS, each one fitting nicely and precisely into its place. NOW PLEASE UNDERSTAND the BOSSERT SECTIONAL HOUSE is a FINISHED HOUSE shipped to you in sections for convenience in handling, and there is NO sawing, planing, nailing or fitting to be done.

PLEASE DON'T CONFUSE THE SECTIONAL HOUSE WITH A READY-CUT HOUSE, which is merely the lumber cut to fit and a carpenter must be employed to build your house with the ready-cut lumber and materials furnished. With the sectional house you can follow directions and easily erect the sections yourself if you care to, or if a carpenter is employed the cost of assembling the sectional house is only a small per cent of the cost of the house.

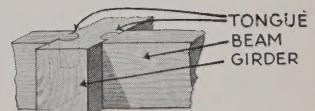
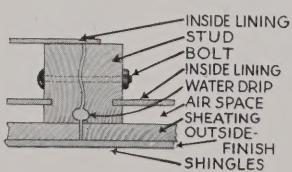
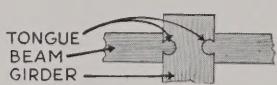
Fill out the information blank and mail today.

*Our Product is Our Pride!
Our Reputation Your Guarantee!*





Isometric View of Construction



'All Details Are Covered by Patents in U. S., Canada and European Countries, Either Granted or Applied For.'

Solidity ~ Rigidity ~ Strength



THE Isometric view shows the construction of floor beams, side wall, and roof with certain sections removed to clearly show the remarkable Bossert interlocking system.

The 3" x 8" sill, as shown, rests on the foundation in a vertical position. This is done so as to allow the floor beams to lock into the sills and also to insure a good connection between it and the vertical wall sections, which are bolted to it.

In the case of a post foundation, the sills rest directly on the posts, which are spaced about 6' 0" on centers. A 1" x 2" strip is attached to the side of the sills to act as a level and additional bearing for the beams. The floor beams are usually made 2" x 6" and the interior span for floor beams from girder to wall or from girder to girder are generally from six to seven feet.

If a larger span is required, the depth of the beam is increased accordingly or additional girders arranged for.

The bottom member of the vertical sections rests directly on the sills and the side members of these sections are extended down past the sill and notched out to fit it.

It will be noticed that the top member is moulded on its upper surface to form an irregular surface, fitting into a corresponding irregular surface on the under side of the plates. The object of this is to form a weather-proof joint.

The same thing is done where the vertical members of the two adjoining sections come together, as illustrated by Detail No. 3.

The outside sheathing is secured to the outside face of the studs and extends from the bottom of the sills to the bottom of the plates. When clapboards are used they take the place of sheathing.

The plate is cut at an angle on the top corresponding to the angle of the roof. This depends entirely upon the design of the building.

The roof sections are supported directly on the plate and here it will be noticed that the connection between the roof, plate and side wall is made in each section by a right angle bolt which fastens all three together at once. This is one of the strongest points of the construction and a very simple solution of the problem.

In general the construction of the roof sections is similar to that of the side walls.

The roof sections are joined together over the center of the side wall sections. This is illustrated in the Isometric view. This arrangement insures better construction and also allows an overhang for gable ends.

ROOF TRUSSES—The members of the trusses are mortised and tenoned together; they have seats in the sides of the top member to receive the purlins which are locked in the same as floor beams lock in similar to the beams already described.

The trusses are generally spaced 12' 0" apart and sometimes 15' 0", but not over that.

At the ends of the building the purlins span from the last truss to the gable, where similar seats are provided.

The gable ends, that is, all parts above plate, are generally made in one piece, and openings may be made in these gable ends disregarding the supports.

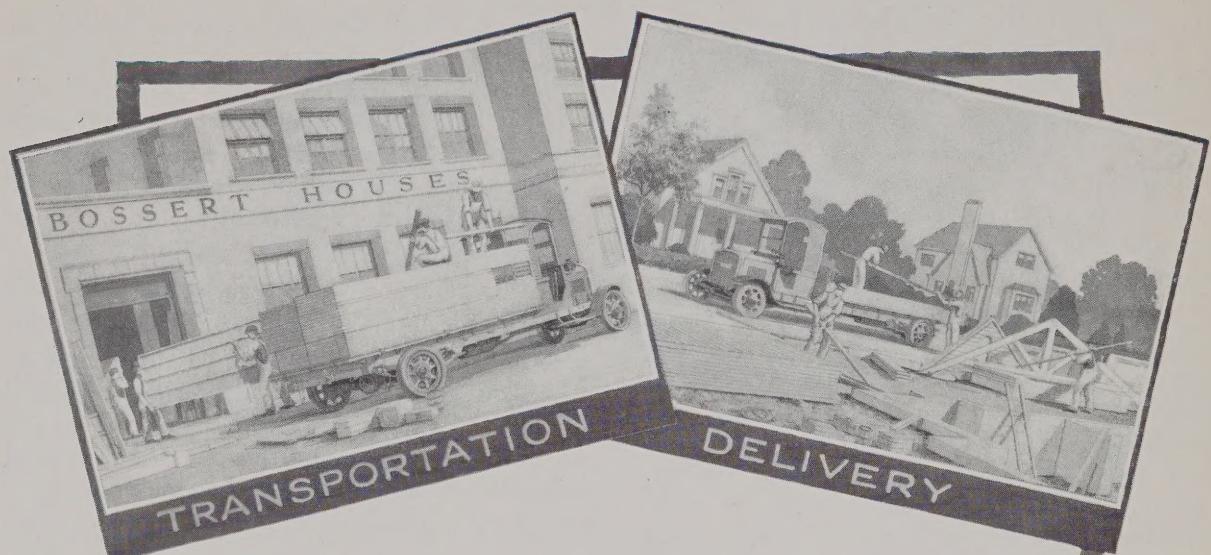
DETAIL No. 2 illustrates the girder and beam construction.

This arrangement is the same as locking the beams to the sills. As illustrated, a circular dove tail is cut on the end of the beams and a corresponding slot cut into the sills or girder.

The beams are always a standard distance on centers and they lock exactly into the grooves. This work facilitates erection. It is impossible for the beams to move after they are in place because the wall sections

*What We Have Done For Others
We Can Do For You!*





Bossert Sectional Houses are built in sections complete, each section representing and combining all the elements that go into the well built frame house. These sections are assembled in the factory. The sidewalls are built up of studding, sheathing and shingles, the windows are built into the proper sections, the roof is built up of sheathing and shingles, the trusses are morticed together and shipped in one piece ready to bolt in place, so that erection becomes merely a matter of hours, and the house rises as if by magic.



Read Detail Description on Pages 5 to 9

*Built Like Automobiles ~ Pianos ~ Boats
At the Factory*

BOSSERT
HOUSES



are placed directly on the sills and consequently hold down the beams, and the beams cannot be removed unless all of the walls are first removed. The same is true of the girders, as they are usually placed under the partitions.

DETAIL No. 3 illustrates the connection of the vertical sections, shows how a weather-tight joint is made and shows how the studs are bolted together. There are three bolts to each connection and where there are long windows or French casement windows or doors to the floor, lag screws are used, which finish flush with the wood.

ADVANTAGES OF THE UNIT SYSTEM—Just as every part of an automobile is machined and completed beforehand, so are the Bossert units, but right here the comparison ends because the Bossert sections are so standardized that they are interchangeable to suit various plan requirements. It should be specially noted, however, that only the units are standardized, not the type or design of the buildings.

ENDURING STABILITY—Upon examination it will be found that the laborious methods used with such enduring results by the old home builders, such as the mortise and tenon joints (held together with wood pins) are not only employed in the Bossert sections, but similar methods (accomplished far more accurately by machinery) are used throughout the entire structure with extraordinary results.

FOUNDATIONS AND CHIMNEYS—Summer Cottages and Garages are usually set on post foundations. Sufficient posts for this purpose can usually be obtained locally or will be furnished at slight additional cost. Regular buildings should have basement walls built beforehand according to the plans furnished by us (we do not furnish masonry material or labor of any kind); chimneys can be built during or after erection of building.

SPECIAL DESIGNS—If our various stock models do not meet your requirements special designs can be developed from the Bossert standardized units and prices quoted according to size and type selected. Do not hesitate to write us about your building problem. We may have plans to suit you, in which case there will be no charge to you!

WHAT IT SAVES—Patented machinery and Scientific Methods combined with over fifty years' experience in home building, together with unlimited facilities for purchasing and manufacturing in enormous quantities, make possible a definite cost system and single profit service to the home builder that is as remarkable as it is true, because in addition to the definite cost feature it positively saves the following items:

1. The expense and time required to prepare plans and obtain estimates.
2. At least 75 per cent of the usual time required for erection and completion.
3. Interest and carrying charges approximately equal to three months' rent of the finished building.

FLOWER BOXES, trellises, shutters, blinds and seats where shown on our plans are included in prices quoted for each model. They are special features of Bossert Houses and help materially to make the House a Home.

DELIVERY—Any building illustrated can be made ready for shipment in most cases from 48 hours to two weeks' time, depending upon size and type selected. The smaller buildings and those marked "Stock" are usually available for immediate shipment. Delivery to points within 50 miles of New York City can be made by automobile truck. Urgent orders are replied to by wire as to time required for delivery. For buildings with foundation walls or basements, we send full information on receipt of order.

INSTRUCTIONS—Erection plans showing all parts numbered to correspond with sections accompany each building. It is a simple matter to tell exactly where each part belongs, and no cutting or fitting of any kind is necessary.

PLUMBING, WATER AND DRAINAGE SYSTEMS

Bossert plans show the correct placing of plumbing fixtures and the most sanitary drainage system for each group of fixtures. In most cases the bath-room and kitchen fixtures are brought together or arranged over each other because this means a big saving not only in first cost but in future maintenance. It also adds to the comfort and convenience of the house, and it is one of those little refinements in good House planning which help to make the House a Home!



*From the Cheapest Lumber Market in the
World to the Finished Product*



MASONRY

Excavation and Masonry work should be done on the ground by local contractors who are in a position to furnish labor and materials far cheaper than they could be supplied from a distance. We furnish foundation plans which include chimneys if fireplaces are shown; they can be built during or after erection or in some cases they can be omitted. For this reason floor beams adjacent to fireplaces are not cut, so that the erection of the house is not interfered with. If stone is used for foundation walls the minimum thickness is usually 18 inches, while 12 inches is usually sufficient for concrete or brick walls below grade and 8 inches above grade—very often when rough broken stone is available an inexpensive wall can be built of mass-concrete which is stone completely embedded in concrete, requiring only sufficient concrete to fill all spaces or voids between the stone, which, if too large, can be broken up and dropped into the concrete mass; this method requires less sand and cement, can be done with cheap labor and often uses up stone on the ground which might otherwise be costly to remove.

FIREPLACES AND HEATING PLANTS

Impartial briefs for home builders on this important subject may prevent errors of judgment and faults in operation which every one is anxious to avoid.

All fireplaces should have dampers, and ash pits are a convenience.

All flues should be as nearly airtight as possible.

The larger the flue the better the fire will draw.

Do not carry boiler flue below the "thimble" of boiler smoke pipe.

Clean out the bottom of flue and boiler smoke pipe once a year.

Don't expect efficiency from a boiler with a heating coil in the heart of the fire.

Don't put hot air pipes in outside walls and expect heat in cold weather.

Don't put steam, hot or cold water pipes in outside walls without thorough protection.

Bosser Ready-Cut Homes have paper between all double floors, and for all outside walls see that it is properly lapped and placed behind all windows and door frames; they are well made and the stud framing is machined dressed, but paper between the joints will prevent air leakage and will repay you in comfort and save money in coal bills.

HINTS ON ELECTRIC WIRING

Bosser Ready-Cut building plans indicate for the convenience of purchasers the essential electric fixture

outlets for the various rooms. The Prospective Home Builder should, however, study this lay-out and make any necessary additions or changes. Early application should be made to the local Lighting Co. for service connection and meter location. It is well to remember that the electrician doing the work should furnish the owner with an underwriters' certificate of approval for the installation of the wiring. A separate charge is made for installation of fixtures and a fixture certificate is also required. Both certificates must be submitted to the Lighting Co. before current is obtainable and much vexatious delay is avoided if this matter receives early attention.

Don't forget that electric washer or other conveniences require separate base outlets.

Don't forget the electric bell outlets and that a bell transformer attached to the wiring system costs but a few cents to operate and has no batteries to get out of order or to be recharged. Get acquainted with the fuse plugs and keep a few on hand in case of a blowout, and don't build the preserve closet round the meter board, because the inspector calls once a month.

POINTS TO REMEMBER

DON'T FORGET that the first thing you need is water! Find out if the water main is laid in the street. If you contemplate a laundry or toilet in the basement, don't decide on the depth of the foundation until your plumber has ascertained the depth of the sewer in the street. If necessary your building can be terraced up with the excavated material; save the top-soil for the terraces and flower gardens—and thus save the cost of earth removal.

If there is no sewerage system don't build an ordinary cesspool, but be up to date and economical and scientific at the same time—build a tight septic tank with porous clay drain tiles laid in a ditch with a stone bottom. Local firms specialize in this work or you will find them illustrated or described in magazines and farm journals.

Roof drainage is quickly disposed of with dry wells or barrels sunk in the ground filled with loose stones; frequently sufficient stones for this purpose are raked together when you make a garden or clean up your plot, and this is an easy and useful way to dispose of them.

DON'T FORGET that the gas main can be laid in the same trench as the water main. The latter should be at least three and a half feet below the surface to prevent freezing and the gas main can be laid on a shelf on the side from 18 inches to two feet deep. Notify the gas company in ample time to avoid delays and don't have gas and water meters placed in the coal bins!

*Build the Bosser Way and Forget
Home Building Troubles*

BOSSER
HOMES



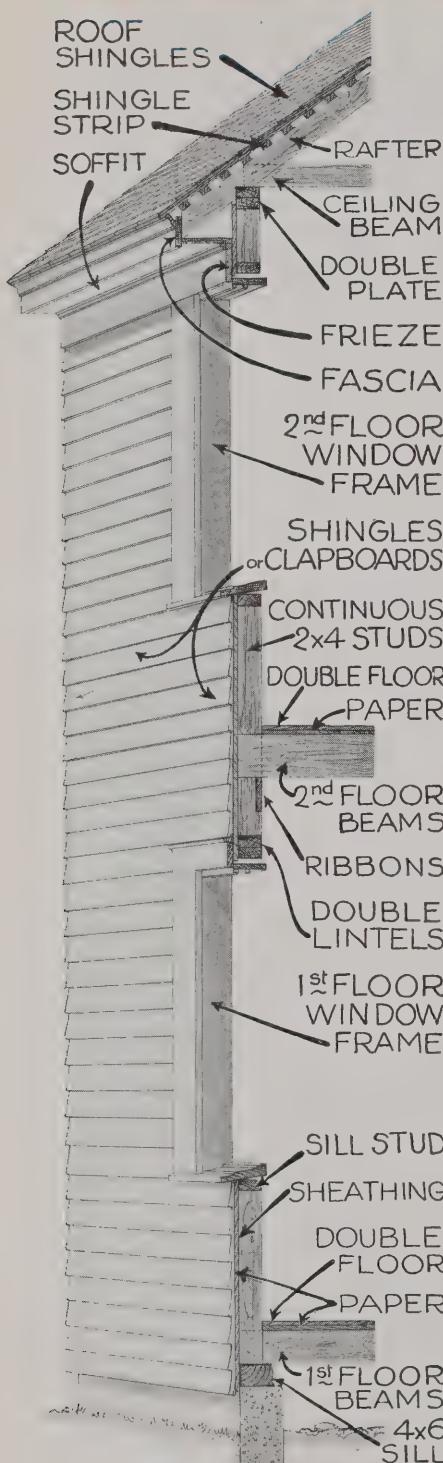


Complete Blue Prints and Specifications
Free With All Bossert Houses



BOSSERT
HOUSES





WHAT YOU RECEIVE WHEN YOU BUY

The Preparation of This Material Means

Exterior Framing

Sills, Floor Beams, Studding, Plates, Roof Rafters, Porch Framing and Partition Studs are all cut to exact size from seasoned merchantable lumber of standard dimensions.

Hard Work Made Easy the Bossert Way

Ask the Carpenter—He Knows!

There is no sorting of lumber or laborious hand labor on the job. Just place your foundation sills, set your floor beams 16 inches apart, and you are ready to erect the outside wall studs (you can't make a mistake); they are cut by machinery, true and square, and will nail snug and close and make a solid substantial job.

No Short Lengths to Piece Out!

BOSSERT outside wall studs for two story houses are continuous from sill to roof plate, and while long timber lengths are more costly to supply, the advantages are many, and the building is not held together with nails at the second story level; moreover the cost of erection to the home builder is less, and there is practically no shrinkage at floor lines or settlement to cause plaster cracks.

Just a Word About the Outside Sheathing

BOSSERT supplies tongued and grooved or "ship-lap" dressed sheathing boards for outside walls and underflooring—this is far superior to plain boards which leave a crack between each joint. Experience also has proved that sheathing in long lengths is preferable for both flooring and exterior walls; this material is therefore supplied in long lengths with a percentage added for waste.

Clapboards or Shingles—Which Shall It Be?

BOSSERT furnishes whichever you prefer without additional cost. Some exteriors simply *must* have 24 inch shingles laid 10 inches to the weather and painted a dull white; with this type of building wide clapboards can be supplied instead of shingles. Please note that any Bossert building can be stuccoed, full

allowance being made for shingles or clapboards not required; architectural effect, however, should be considered first, and in this and all other construction problems we are always ready to assist and advise you.

Exterior Millwork and Porches—Correct Details for Each House

All exterior millwork, consisting of cornice material, mouldings, frieze boards, porch posts, railings, lattice, steps, and all finished outside material is machine dressed cypress or pine cut to exact width to conform to the construction drawings which we furnish with each house, all of which have been carefully studied to produce the correct architectural result with the least possible amount of labor to the builder.

Interior Trim and Mouldings for Paint or Stain Finish

Simplicity is the keynote of all Bossert interiors. The day of many membered mouldings and dust catching trim is gone and in its place we furnish plain moulded, carefully machined window and door trim, usually with a raised back band for our better houses all cut to length; plain base 5 inches wide with loose top moulding is supplied in long lengths, with all other items of trim sash, such as hearth strips, shelving, hook strips, etc.; we use dry clear whitewood, pine or cypress for all interior trim.

Finished Flooring

Is standard $\frac{3}{8}$ -inch thick tongued and grooved North Carolina Pine or Western Fir; it is machine dressed and will take any stain or varnish finish, but it should be carefully protected and not laid until all other work has been completed—oak or maple flooring can be supplied at the additional market cost.

Stairs, Dressers, Bookcases or Seats

One of the many advantages of the Bossert ready-cut system is the care and attention given to the interior effects which are of such vital importance in making the house a real home.

**It makes no difference what kind of house you want,
"THE BOSSERT PLAN" will cut your troubles in half
and save you time, money and many disappointments**

A "BOSSERT READY-CUT" HOUSE

Hundreds of Dollars Saved in Labor Costs

Graceful turned newel posts with tapered, square or turned balusters and nicely moulded handrails are features of Bossert stair building—this material comes to you machined and ready to put together with treads and risers cut to fit and wall strings housed to receive them. Where bookcases, seats, dressers or other fixtures are shown on Bossert ready-cut plans, they are included in the price quoted and are delivered in knock-down form with frames, door and drawers put together, and tops, ends and shelves ready to be fitted. (If you wish any of these items omitted, full cash allowance will be made.)

Window Frames and Sash

Instead of shipping window frames in bundles and glass in crates necessitating laborious hand labor under difficult conditions, Bossert window frames come to you put together ready to nail into each opening. The sash is primed, glazed and puttied ready to hang; pulleys, sash weights of proper size and sash cord is included. Compare this remarkable building service with the many weeks of waiting for sash which very often does not fit the window frames when it does arrive. Bossert buildings can be completely closed-in the same day the window frames are set in place.

Door Frames and Doors

Choice of Two Designs!

Exterior door frames for all Bossert Ready-Cut Houses are put together with outside casings and solid rabbeted jambs; front entrance doors are $1\frac{3}{4}$ inches thick with wood or glazed panels as shown on each design. You have the choice of two panel or five cross panel doors both $1\frac{3}{8}$ inches thick, machine sanded ready to paint or stain any color you may select from the color cards we furnish.

Paint, Stain and Floor Varnish

All ready-cut prices include paint for two coats on all finished exterior woodwork, including clapboards, or when buildings are finished with shingles laid 10 inches to the weather (regular shingles are left natural)—1 coat of stain for roof shingles, two coats of paint for interior woodwork and two coats of varnish for floors. Color cards for paint and stain are mailed on receipt of house orders, which will be found inside back cover of catalogue.

Hardware, Both Rough and Finished

For every purpose to complete our ready-cut buildings we furnish all nails of various sizes (including galvanized shingle nails), pulleys, sash cord and window weights, also all finishing hardware, consisting of brass plated hinges and



lock sets for doors, special front door lock set, double acting pantry door hinge, dresser, hardware, sash locks, door stops and closet coat hooks.

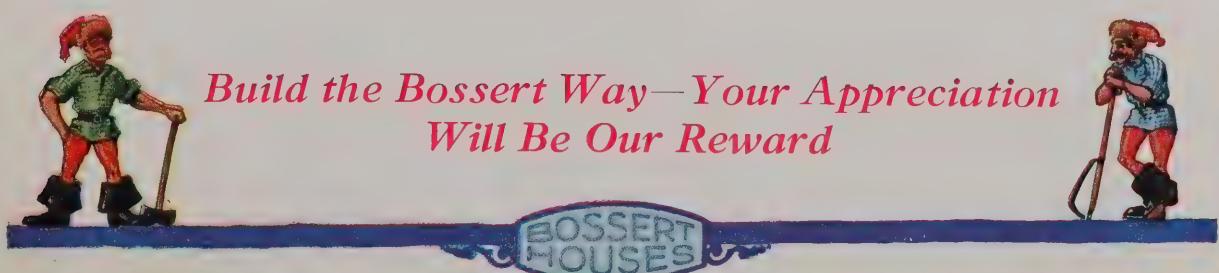
On bungalows and cheaper ready-cut houses we recommend the use of real gypsum prepared plaster-board which we furnish in sheets both 3 feet and 4 feet wide by 8 feet long. The ceiling heights are specially planned to suit this board; it is a remarkable material for its purpose and will not crack, warp or shrink. It has a fine paper surface suitable for wall paper or paint. The joints can be plastered or covered with panel strips; this material is fireproof, sound and vermin proof, and is cheaper and quicker to apply than lath and plaster.

Bossert Ready-Cut Plans with Lumber and Material Lists

Faithfully representing all ready-cut houses in this catalogue, Bossert plans have been studied and developed by New York registered Architects whose services would ordinarily be prohibitive to the average home builder. This skilled cooperation was given a free rein in the development of the various architectural types and in the interesting details which have been so beautifully carried out, not only in designs, but in the finished product.

Many Architectural Refinements

Bossert plans have many architectural refinements and justly merit the many blue ribbons awarded to Bossert Houses throughout the country. There is no guesswork or possibility of error in construction, because complete framing plans show the size and position of every timber and the mode and method of construction throughout. Special attention has been given to room arrangements, to the careful grouping, centering and placing of windows and doors; also to kitchen conveniences and saving of steps for the housekeeper.



ONE BUILDING OR AN ENTIRE CITY

The buildings for an entire city or real estate developments are furnished by Louis Bossert & Sons, Inc., from their mammoth plant with the same promptness, reliability, completeness of detail, and low cost that is embodied in each transaction, whether for one house or for several thousand. Any concern contemplating the erection of a large number of buildings of any description should communicate with us and avail themselves of the experience, organization, and facilities of this concern.



ENDOCARDIUM

A real estate development in Brooklyn, New York, consisting of 485 houses, material furnished by Louis Bossert & Sons, Inc., completely erected, sold and occupied in 15 months from the day of starting.



MARATHON PARK

A real estate development of 280 houses from material furnished by Louis Bossert & Sons, Inc., located at Little Neck, New York, erected, sold, and occupied in one year.

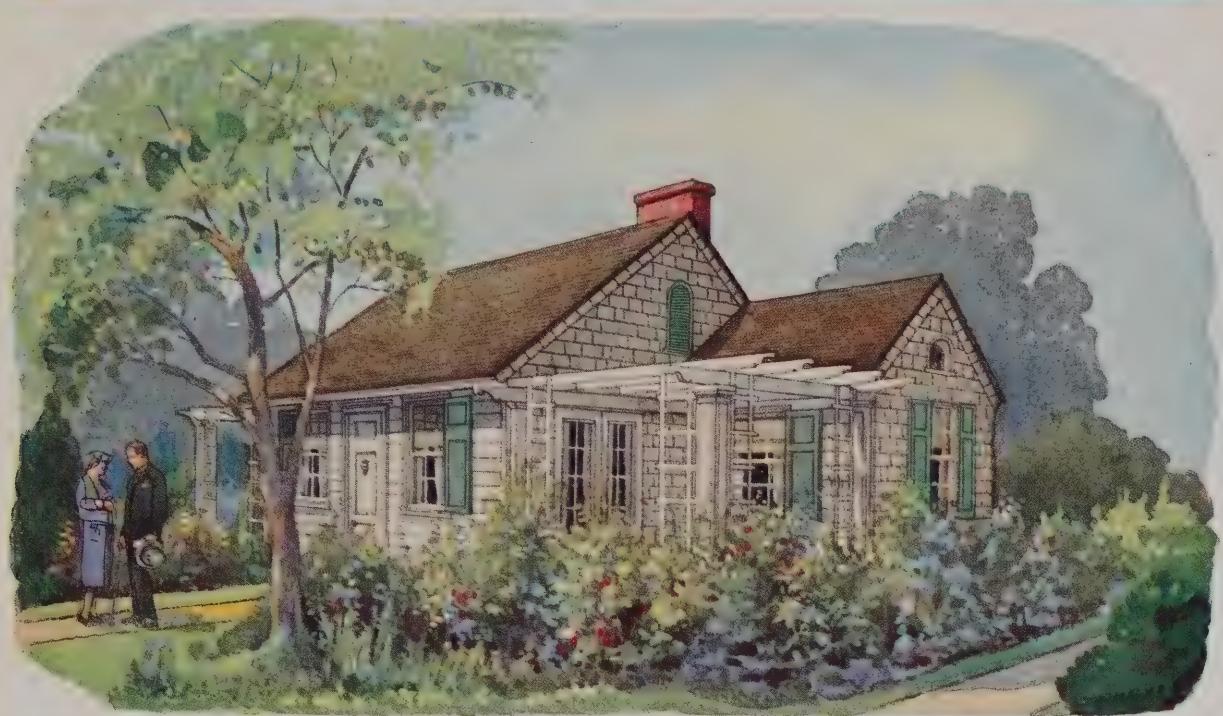


TREASURELAND

One of the largest real estate developments consisting of 2,000 houses with stores, etc., all material furnished by Louis Bossert & Sons, Inc. The illustration shows the development 4 months after ground was broken for first house. It is located at Auburndale, New York.

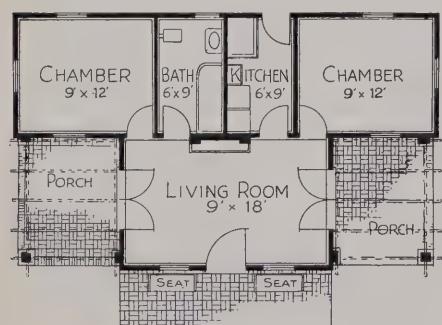
*The Same Economy - Service - Satisfaction
To Customers For Orders
Large or Small!*





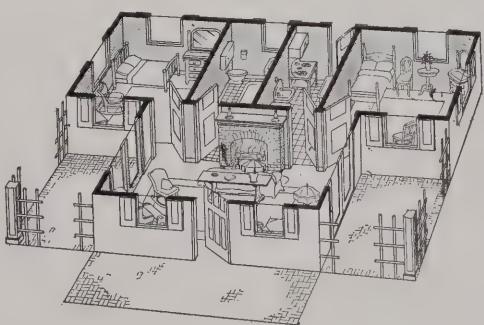
THE PIPING ROCK has achieved more unsought publicity, won more prizes in beauty contests, blue ribbons at fairs and exhibitions than any other of the Bossert Houses, and we believe than any other one house.

The large magazines devoted to the artistic beauty of the suburban homes have shown the Piping Rock repeatedly, photographs having been submitted both by enthusiastic owners and by photographic reporters seeking for beautiful subjects for their magazine columns. It has been shown as individual homes and as guest houses.



Floor Plan

1. Width, 36 ft.
2. Depth, 18 ft.
3. Large, comfortable living-room is 18 x 9 ft.
4. Kitchen, 6 x 9 ft.
5. Bath, 6 x 9 ft.
6. Two bedrooms are each 12 x 9 ft.
7. A pergola is provided on each end of the living-room. The pergola shown in illustration over the front door is not included.
8. The living-room has casement doors at each end opening on the pergola and two windows in the front beside the door.
9. Each bedroom has a window on three sides.
10. The kitchen and bath each have one window.
11. Plans and specifications, when order is placed.



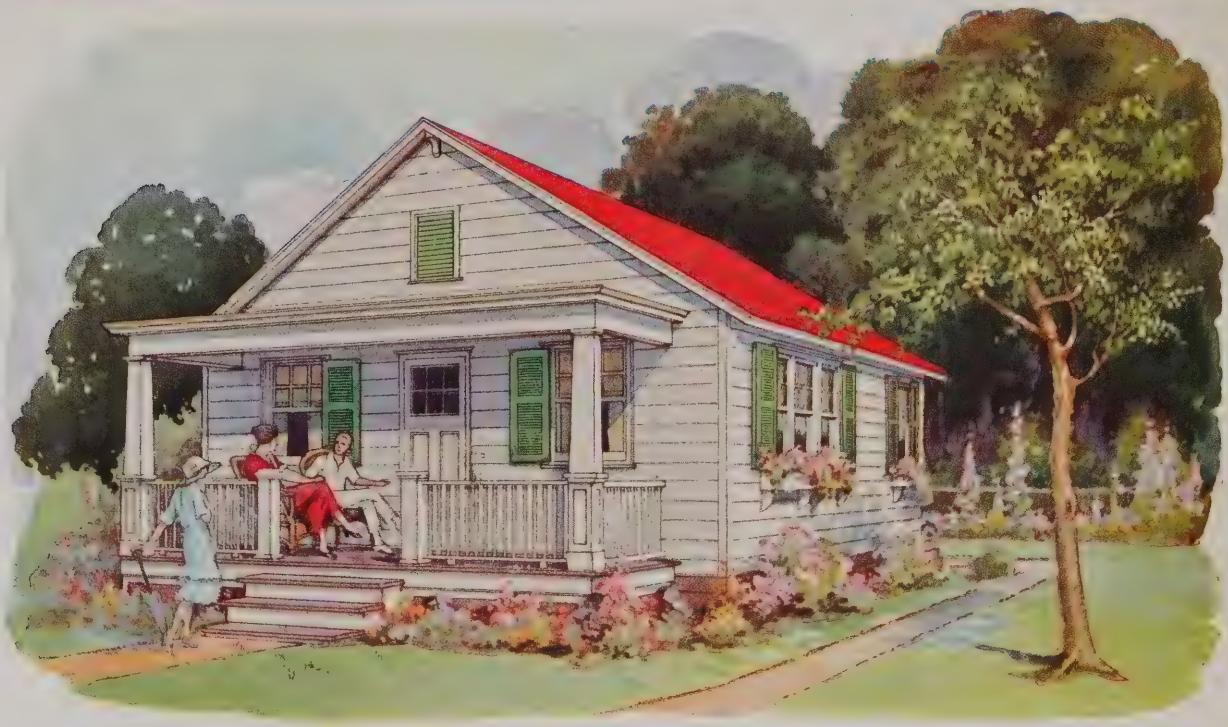
Sectional View



BLUE RIBBON AWARDED WHENEVER EXHIBITED

*Do Not Delay
Place Your Order Today*

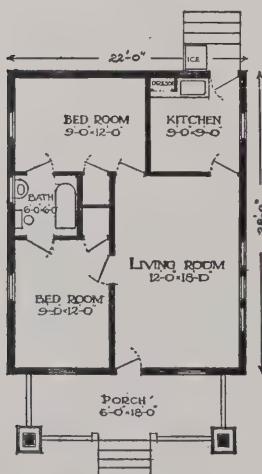




ALBANY MODEL

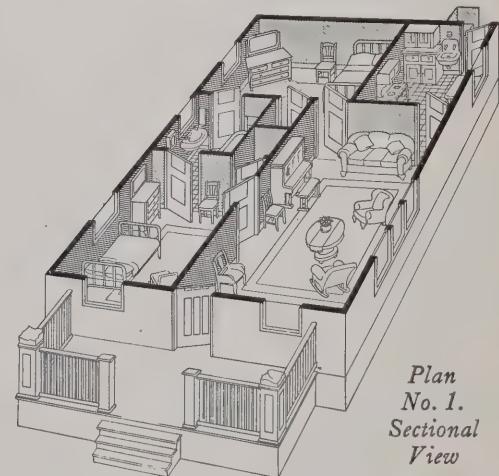
THIS most popular of all small houses is a real home. The three floor plans give you an opportunity to select a house having an interior arrangement just suited to your requirements, and which may be set on posts or a cement or brick foundation as desired.

Bossert Ready-Cut construction saves one-third to one-half carpenter work, eliminates waste and saves time and money. We will furnish all the material to build this house, consisting of mill work, lumber, roofing, siding, flooring, finishing lumber, hardware, paint, etc. Prices include plans and specifications.



FLOOR PLAN 1

1. Width, 22 ft.
2. Depth, 28 ft.
3. Four rooms and bath.
4. Porch, 6 x 18 ft.
5. Large spacious living - room, 12 x 18 ft., windows on two sides.
6. Two bedrooms, each 9 x 12 ft. Large closet in each.
7. Bath, 6 x 6 ft.
8. Kitchen of good size, 9 x 9 ft.



Plan
No. 1.
Sectional
View

Study These Three Floor Plans and Note the Ideal Room Arrangement



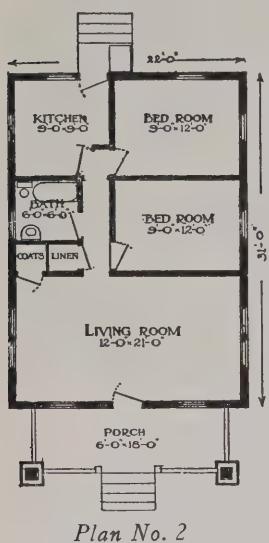
Shingles will be supplied for exterior walls instead of clapboards without extra cost. Real plaster-board (easily erected) furnished.

IMPORTANT:—Please read carefully all about READY-CUT houses on pages four and five.

Of all models of small houses the ALBANY is the most popular, as it is so typically American in design, so sturdy and "homey" and at the same time so practical in the room arrangements that it gives more ample living accommodations

than many larger houses of different design. It may be set on posts or cement foundation, with a cellar as you desire.

At the prices quoted it is one of the greatest values for a small price ever offered. For your convenience an order blank will be found in back of this book, which kindly fill out sign, and mail to us with your check (money order or draft) for 25 per cent (one-quarter) of the price. Your house will be shipped (or delivered) within ten days from the receipt of same.

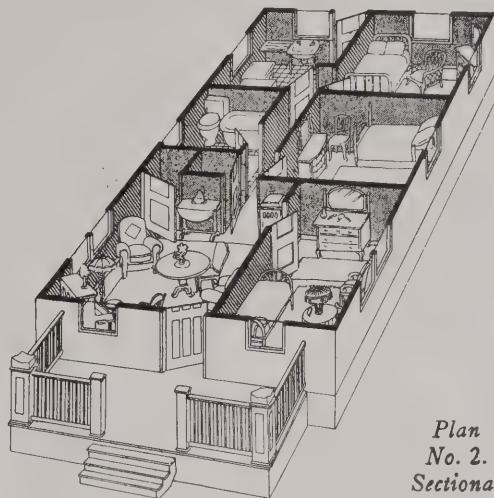


Plan No. 2

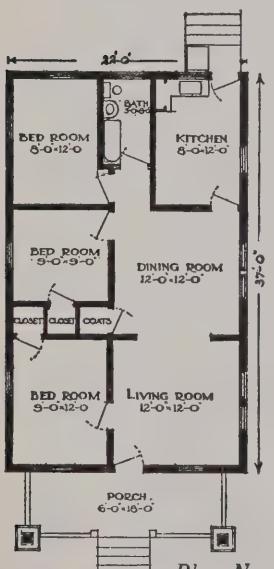
FLOOR PLAN 2

1. Width, 22 ft.
2. Depth, 31 ft.
3. Four rooms and bath.
4. Porch, 6 x 18 ft.
5. Living-room, 12 x 21 ft., extends entirely across house. Six windows make it light and cheery.
6. Two bedrooms, 9 x 12 ft.
7. Bath, 6 x 6 ft.
8. Kitchen, 9 x 9 ft.
9. Plans for basement, gratis.
10. Fireplace can be built in living-room, if desired, at small additional cost.
11. Ample Closets.

This Albany is Furnished with Shingle or Clapboard Exterior



Plan No. 2.
Sectional View



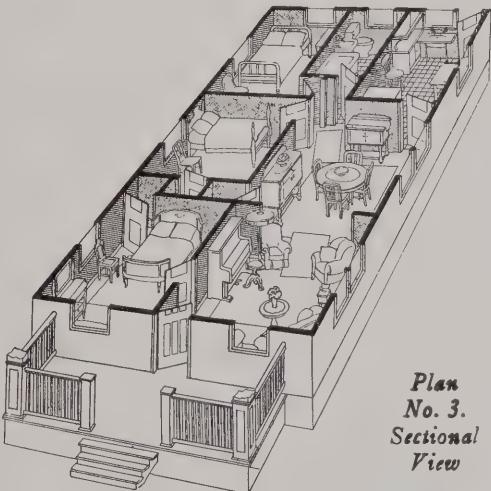
Plan No. 3

FLOOR PLAN 3

1. Width, 22 ft.
2. Depth, 37 ft.
3. Six rooms and bath.
4. Porch, 6 x 18 ft.
5. Living-room, 12 x 12 ft.
6. Dining-room, 12 x 12 ft.
7. Front bedroom, 9 x 12 ft. Opens off living-room.
8. Middle bedroom, 9 x 9 ft.
9. Rear bedroom, 8 x 12 ft.
10. Bath, 5 x 8 ft.
11. Kitchen, 8 x 12 ft.
12. Plenty of closet space.
13. This model makes comfortable year-round homes.

Erected in a Few Days the "Sectional Way"

A Marvel of Economy by the "Ready-Cut" Plan

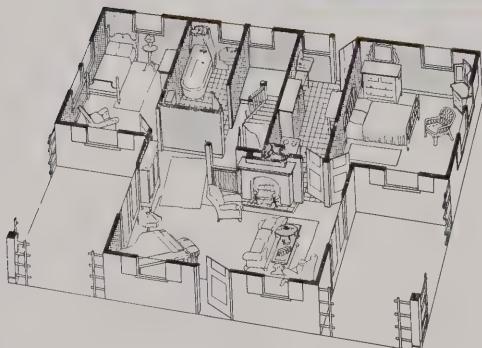
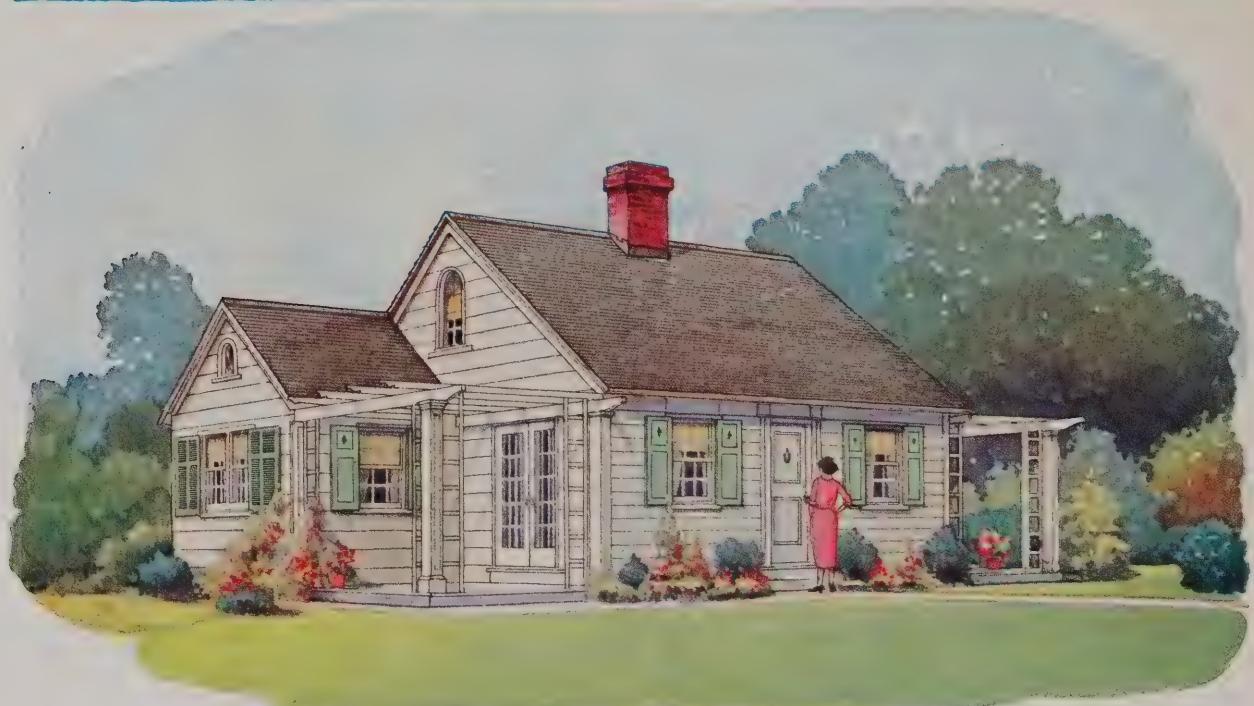


Plan No. 3.
Sectional View

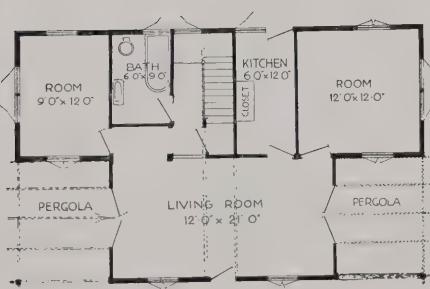
Take Advantage of this Wonderful Opportunity

Build Now and Save Rent





Sectional View

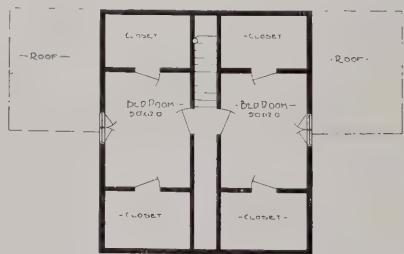


First Floor Plan

“Sectional” or “Ready-Cut”
THE Long Island Farmhouse is a real, attractive, comfortable home. It is spacious enough for a good sized family and the principal rooms being on the first floor saves all unnecessary steps for the housekeeper. A chimney may be installed before or after the house is erected, providing a fireplace in the living-room, a connection from the kitchen and a heater from the basement if desired, or if no basement is provided, a heater of ample capacity may be installed in the kitchen.

1. Width, 39 ft.
2. Depth, 24 ft.
3. Six rooms and bath.
4. Living-room is 21 x 12 ft.
5. One bedroom is 12 x 12 ft. Another bedroom is 9 x 12 ft., both on first floor.
6. Two 9 x 12 ft. bedrooms on second floor with insulated air-space above and on both sides with ample storage space.
7. The large kitchen is 6 x 12 ft.
8. The bath is 6 x 9 ft.
9. At each end of the living-room is provided a pergola with casement doors opening on the living-room.
10. Two front windows are provided also in the living-room while each of the bedrooms on the first floor have four windows on three sides.

TRUE TO THE FARMHOUSE TYPE
 Side walls and gable ends are finished with thick butt, wide old fashioned shingles laid 11" to the weather, while the front wall is finished with clapboards. Other interesting Bossert Features are the moulding cypress eaves gutters which save you the cost and upkeep of perishable metal gutters sold with Ready-Cut houses of miserable design and inferior materials.



Second Floor Plan

SECTIONAL OR READY-CUT

*Bossert Buildings Go Together Just
as the Pictures Show Them*

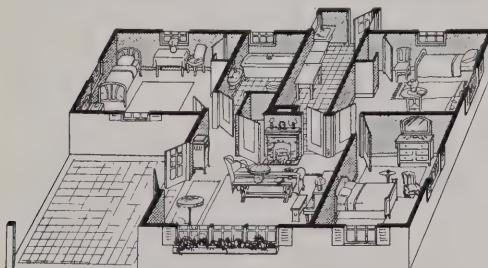




SECTIONAL OR READY-CUT

THE TUXEDO is a Delightful Bungalow, Architecturally Correct—Yet Low in Price. Attractive to look at, comfortable to live in. Considering its size, the abundance of space in the "Tuxedo" will surprise you. A family of five or more may live here in pleasure and comfort not found in many homes occupying considerably more space.

Observe the group of windows which flood the living room with cheerful sunlight. Can you imagine a more inviting room? It measures 12x15 feet, offering an ideal arrangement for attractive placing of furniture.



Sectional View

1. Width, 36 ft.
2. Depth, 24 ft.
3. Five rooms and bath.
4. Living-room is 12 x 15 ft.
5. Three bedrooms are each 9 x 12 ft.
6. Porch is 12 x 12 ft.
7. Kitchen is 6 x 12 ft.
8. Bath is 6 x 6 ft.
9. The living-room has three windows in the front and French doors opening on to the porch.
10. Each of the bedrooms has windows on two sides.
11. There is a roomy attic with good storage space.
12. Space in the living-room is provided for fireplace.
13. The house may be heated either by furnace in the cellar or a heater in the kitchen.
14. Pergola Porch is readily transformed into Sun Parlor or Dining Porch.



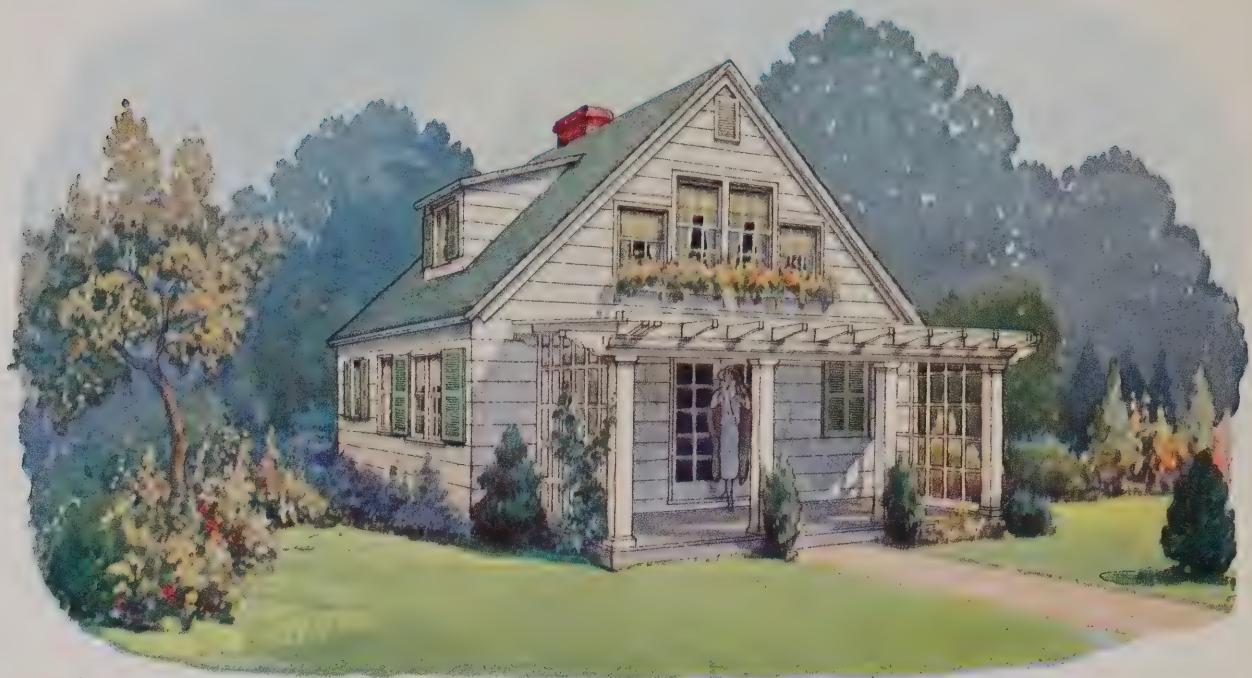
Floor Plan



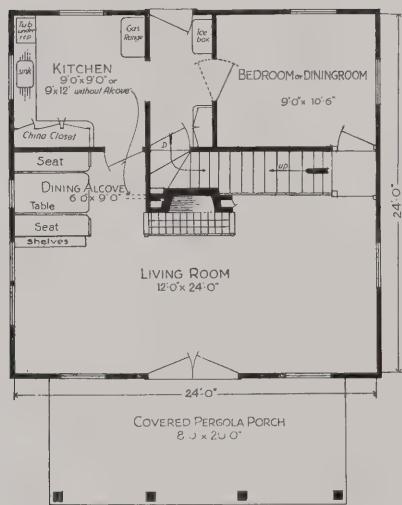
*If You Buy a Bossert House
You Can Forget Home Building Troubles*

BOSSERT
HOUSES





THE Meadowbrook is a favorite Bossert design offering an amazing number of ingenious variations both in plan and design, all of which are most economical, because, the building being square, the greatest amount of floor space is enclosed with the least amount of wall area.

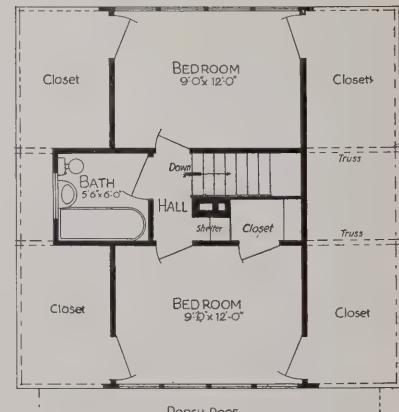


First Floor Plan

READY-CUT OR SECTIONAL

FLOOR PLAN

1. Width, 24 ft.
2. Depth, 24 ft.
3. It has five rooms and bath, with a dining alcove.
4. The porch is 20 x 8 ft.
5. Living-room, 24 x 12 ft., with a dining alcove 6 x 9 ft. and space provided for fireplace.
6. A dining-room or bedroom on first floor is 9 x 10 ft.
7. The kitchen is 9 x 9 ft.
8. A china-closet is provided in the kitchen.
9. A butler's pantry and rear entrance, 5 x 9 ft., with ample space for ice-box and stores with door to kitchen and dining-room and entrance to cellar.
10. Second floor, two bedrooms, each 9 x 12 ft.
11. A bath 6 x 5 ft. 6 inches.
12. From each bedroom are two large closets for storage.
13. Each bedroom has four windows.

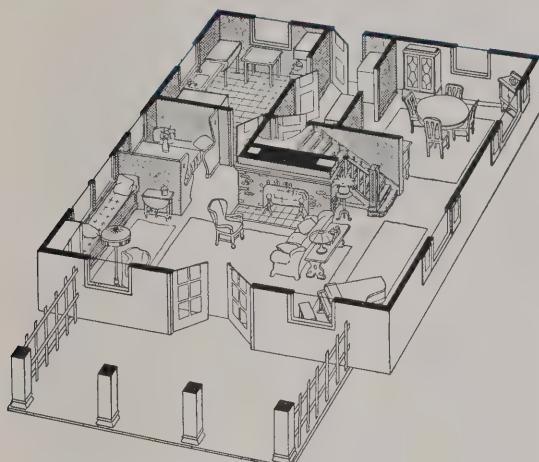


Second Floor Plan



There Are Hundreds of Short Cuts in the Building Game and We Know Most of Them





Sectional View

room. The dining alcove on the left offers an ideal substitute for the dining room, which can then be utilized for another bedroom.

By carefully examining the plans you will find that the second floor bedrooms are not exposed to the roof; closets on two sides and an air space above insulate these rooms, so that they are not the usual hot bedrooms of the semi-bungalow house. Closet space is unusually plentiful. The shingles on the exterior side walls are exposed 10 inches to the weather, producing the old Dutch Colonial effect. Painted white with blinds painted green makes a most attractive house.

Interior trim is of cypress which may be painted or stained; the low side bedroom windows can be omitted and blinds provided for center windows instead. Balcony over porch is easily built and costs little for material.

This model is also furnished SECTIONAL—see pages 5 to 9 for specifications. It can be erected in one week! Patented shingling methods render all sectional joints weatherproof and invisible.

MORE DEVELOPMENTS



Part of 700 Summer Cottages at West End Long Beach



*Better Buildings Built
By Bossert*

BOSSERT
HOUSES





HAPPINESS and comfort are at once suggested by this simple yet pleasing and dignified home. The broad expanse of porch, with its staunch columns give the true home atmosphere even before we reach the attractive interior.

Rectangular in form, with sweeping roof lines of pleasing proportions, the long porch is supported by six square columns with simple base and moulded caps. Side walls recall the old farmhouse type with wide white shingles laid 11" to the weather, shutters and roof are green and common red brick for chimneys make a very pleasing contrast.

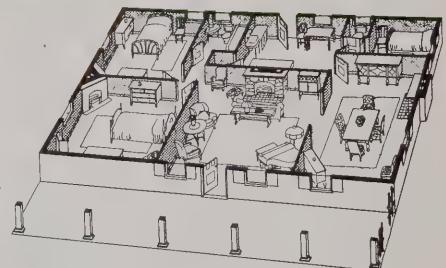
There Is No Lost Space in the Lenox!

Generous well proportioned rooms with four fireplaces are special features of the alternative floor plans shown below. Special attention is called to the Ingle-nook in plan No. 1. This old fashioned high back seat effect is a charming treatment and in this case it very effectively masks the entry to bedrooms, bathroom and kitchen!

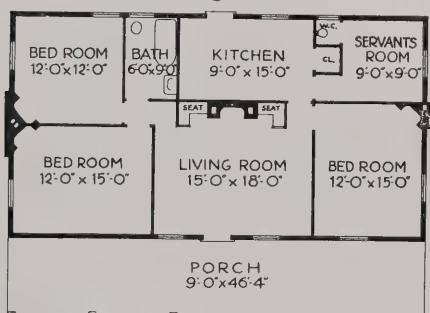
The bedrooms are intended to have hanging wardrobes instead of closets and ample storage space is provided

in the roomy well-lighted attic.

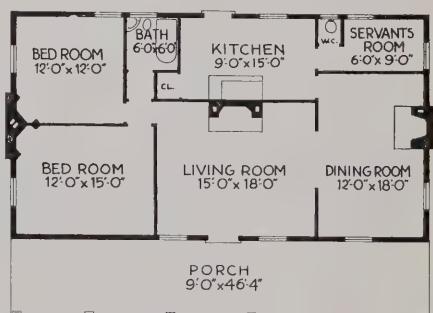
Delivered in sectional form, it can be erected on your own foundation or on post or pier supports in a few days or you can purchase all the material, including paint, nails and plaster (or plaster-board), at a remarkably low price, in addition to which you will effect a big saving in the cost of construction by the Bossert Ready-Cut plan fully described on pages 12 and 13.



**Sectional View No. 2 Plan
SECTIONAL OR READY-CUT**

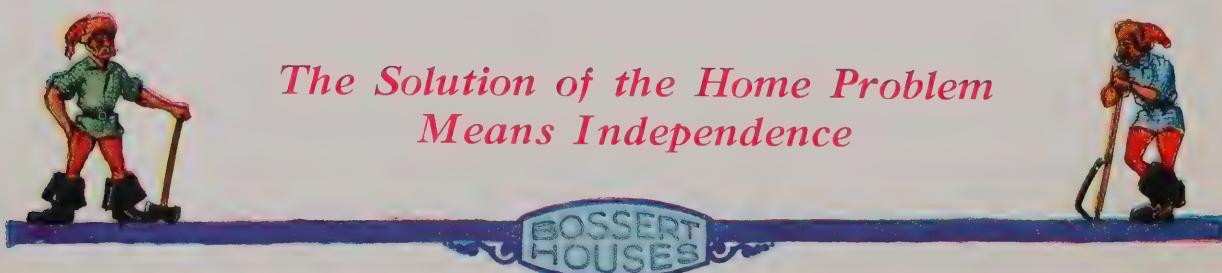


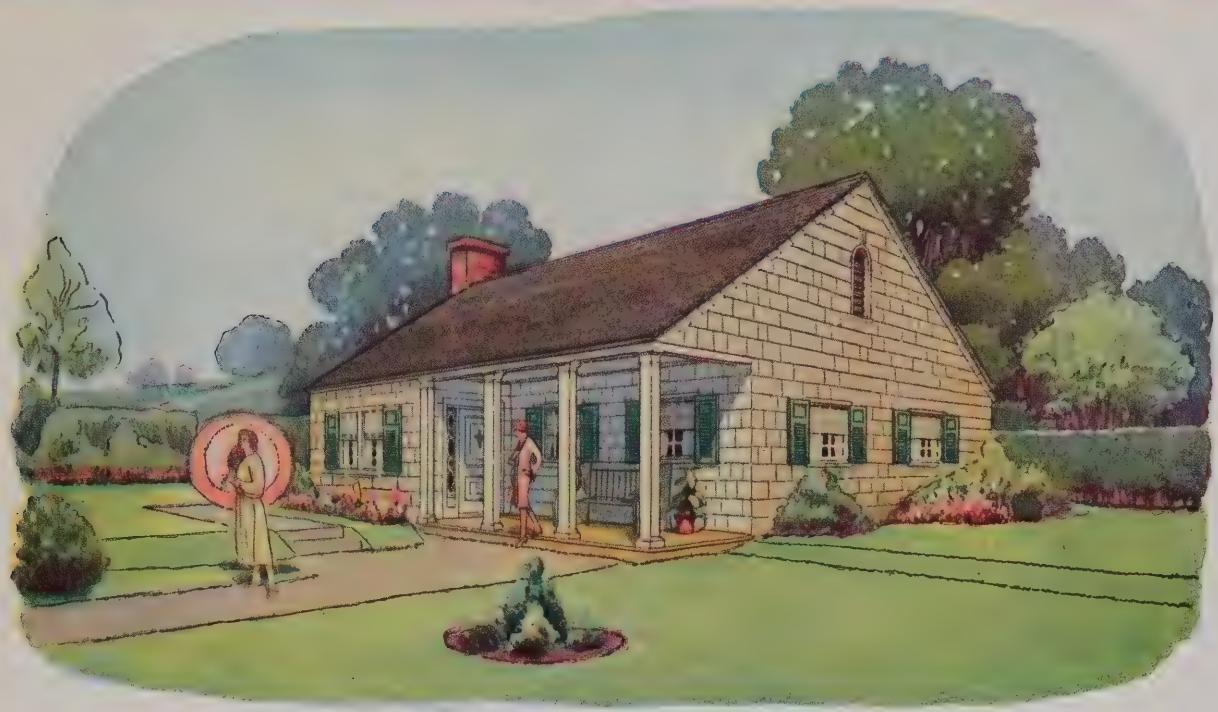
Floor Plan No. 1



Floor Plan No. 2

***The Solution of the Home Problem
Means Independence***





READY-CUT AND SECTIONAL

FURNISHED the Bossert way with all lumber and trim, paint, nails, plaster and hardware, this is the cosy cottage you have been looking for.

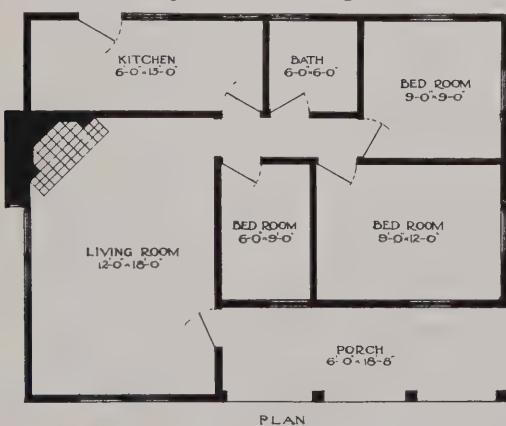
You can build it on post or pier supports or with a basement as you prefer, and if you require additional bedrooms there is a large roomy attic which can be finished with slight additional cost for material.

Fabricated in the Bossert Mills, put together far stronger than the ordinary carpenter built house, the Chatham has solved many a difficult housing problem. If erection time is an important matter or if there are labor troubles in your locality, this Bossert Sectional House will surely solve all your difficulties. It is a permanent building when erected and the

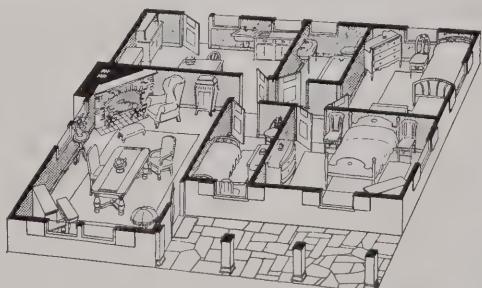
Bossert patented method of shingling renders all sectional joints invisible. It is far superior to any other known type of sectional house and it makes an attractive all-the-year home, at a definite cost without extras.

CONVENIENT ARRANGEMENT AND SIMPLICITY OF DESIGN

combine to produce in the Chatham an interesting and liveable bungalow of much interest and charm. Simple roof lines mean economy in first cost and freedom from repairs in years to come; exterior walls are covered with old fashioned shingles, exposed 11 inches to the weather, painted white with roof and blinds finished green it is most attractive. A solid paneled front door with Colonial leaded side lights opens into a fine living room 12' x 18' with a corner fireplace conveniently placed to connect with the kitchen flue. Note that the kitchen is large enough to accommodate a breakfast nook. The short passageway connects all rooms with the bathroom which is unusually convenient and desirable.



Read Pages 5 to 14
of Catalogue For
Detailed Description
of All Ready-Cut and Sectional
Houses



*Our Unlimited Experience Is At
Your Disposal*

BOSSERT
HOUSES

Louis Bossert & Sons, Inc.,
Brooklyn, New York.

Gentlemen:

I am delighted with the Pokono Hills Bungalow. It created a sensation in the neighborhood when it was erected in two days time.

The house is warm and comfortable and has the admiration of everybody.

Yours very truly,
M. H. Oliphant,
Huntington, Long Island.

Louis Bossert & Sons, Inc.,
Brooklyn, New York.

Gentlemen:

The Bossert house you put up for me a year and a half ago has been most satisfactory. The construction is very fine. It has never leaked or cracked in any way.

Very truly yours,
(Mrs.) G. L. Benedict,
1160 Fifth Avenue,
New York City.

Louis Bossert & Sons, Inc.,
Brooklyn, New York.

Dear Sirs:

We are all quite pleased with the little bungalow. My father particularly, who was sceptical, thinks it is a very good idea and finds it much bigger than he expected for the price.

Thanking you personally for promptness, efficiency, and courtesy all around, I am,

Very truly yours,
Emily G. Carroll,
450 East 64th Street,
New York City.

Louis Bossert & Sons, Inc.,
Brooklyn, New York.

Gentlemen:

In reference to the Bossert house which I purchased from you, I will state that this has turned out to be a very satisfactory little dwelling. As you will remember I have the inside of this house plaster boarded and my Gardener has used it all winter. The temperature ranged from 5 above to 10 below zero, almost without interruption for a period of two weeks. The Gardener reports to me that he had no difficulty in keeping a temperature of 70 inside.

I consider the House a most satisfactory investment.

Yours respectfully,
F. G. Macomber, Jr.,
Macomber Company, Inc.,
27 William Street, N. Y. C.

Louis Bossert & Sons, Inc.,
Brooklyn, New York.

Gentlemen:

I am glad to advise you that we had great enjoyment from this little bungalow, and notwithstanding the heavy winter which just passed, the house stood through it all. I have no complaint to make whatever. The roof is in wonderful condition, and has had no leaks, and I consider that you turned out a wonderful house for the money.

Yours very truly,
C. B. Lee,
%The Hills Brothers Company,
Beach & Washington Streets,
New York City.

Louis Bossert & Sons, Inc.,
Brooklyn, New York.

Gentlemen:

The Bossert house which we have had for two years has been satisfactory in every respect and I can say that I am pleased with it. The double floors were no mistake.

Very truly,
Dr. H. L. Barnum,
40 Second Street, Newburgh, N. Y.

Louis Bossert & Sons, Inc.,
Brooklyn, New York.

Dear Sirs:

I am sending photographs of the Piping Rock model house constructed at Hydewood, North Plainfield, N. J., under special plans which included a garage instead of bedroom and kitchen.

I wish to advise you that the house is more than satisfactory and I highly recommend it to anyone wishing to erect a bungalow of this nature at the seashore or the mountains.

Very truly yours,
J. C. Graef,
%Fred'k Southack & Alwyn Ball Inc.,
11 Broadway,
New York City.

Louis Bossert & Sons, Inc.,
Brooklyn, New York.

Dear Sirs:

As to our home we are very much pleased and we will do all we can to recommend the Albany home. We are very comfortable as it is the nicest layout, plenty of room and very cosy. We will be glad at any time to have anyone come to see the house.

Yours truly,
Mr. & Mrs. Geo. Mettasch,
Queens Bough Hill,
Flushing, Long Island.



Satisfied Customers Are Our
Greatest Asset



Read These Specifications

Consider How Completely These Little Buildings Fill a Long Felt Want and How Quickly and Simply They Can Be Erected Anywhere

BOSSERT "EXCELSIOR" HOUSES are substantially built of No. 2 stock completely finished in sections of convenient size for handling, ready for erection with unskilled labor.

DOORS and WINDOWS are hung complete with all hardware ready for immediate use.

OUTSIDE WALLS are clapboard nailed to machine dressed studs, presenting a finished appearance on both sides. They are interchangeable and fit together with patented lock joints.

INTERIOR PARTITIONS are of clean dressed boards to plate line only.

FLOORS are $\frac{1}{8}$ -inch thick, tongued and grooved, clean dressed boards, made in sections and battened on the underside.

ROOF SECTIONS are substantially framed and covered with $\frac{1}{8}$ -inch boards; sufficient crushed slate surfaced roofing is provided to apply after sections are in place.

EXTERIOR FINISH is optional with the purchaser. If the building is painted white, round porch columns and a paneled front door are furnished. If rustic effect is desired the exterior is stained with a brown creosote stain (which is equal to two coats of paint) and rustic porch posts and battened door are provided.

SHUTTERS, where shown, are painted green in both cases and can be securely fastened on the inside, affording suitable protection from the elements, etc.

BOSSERT EXCELSIOR HOUSES can be erected on any kind of foundation, such as wood posts, brick or cement piers or field stones.



Showing the assembling of a Bossert Sectional house. Windows are in and glazed. Shutters closed for shipping. The roof, however, is not assembled until sides are all up.

DELIVERY can be made anywhere by rail, or by automobile truck, if within reasonable distance from New York.

ERCTION. Full directions are furnished with each house, all nails and bolts are supplied, everything is thoughtfully provided. You cannot fail to have a staunch, serviceable building that will last for years and be a constant source of pleasure, profit and health.

A glance at this diagram tells its own story. The Bossert patented methods of construction make this possible and the extraordinary facilities of the Bossert plant does the rest. There is not a board to cut or a

nail to buy. Floor beams drop into place, the wall sections hold them down and every part locks together with unerring accuracy.

Windows are in place and doors ready to lock as soon as the sections are set up.

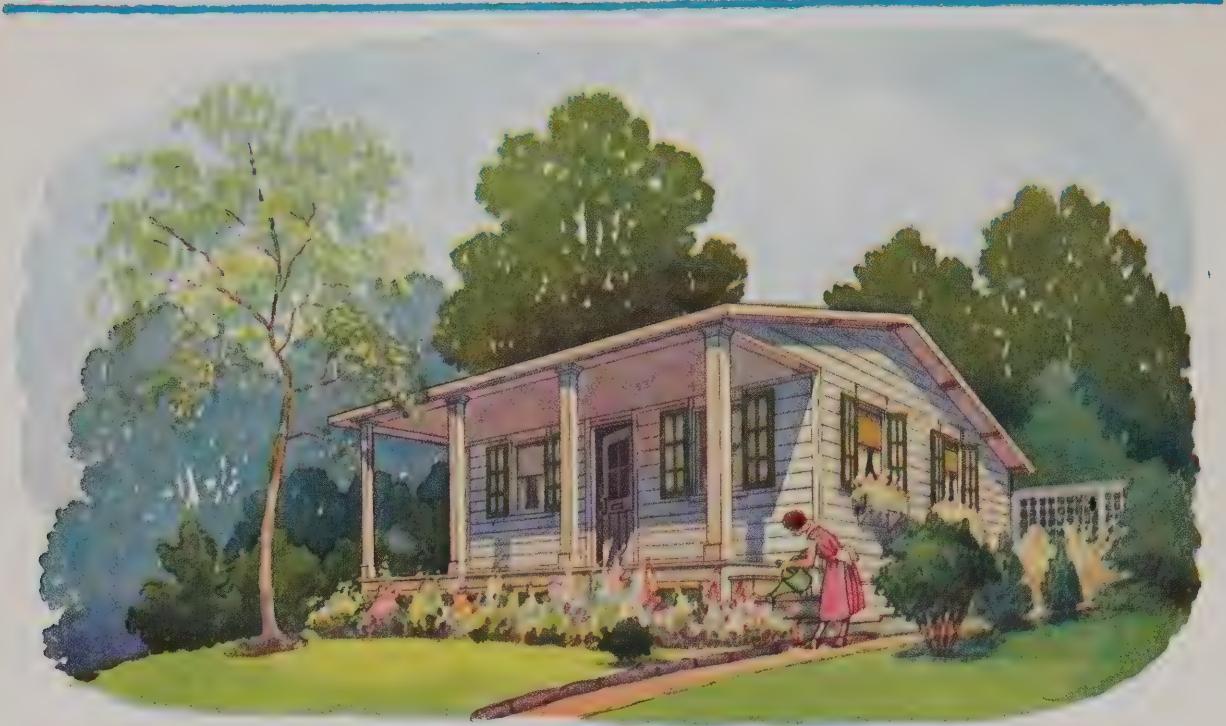
Durable crushed slate roofing felt lapped and nailed is good for years, and, if you wish, a simple chimney and plaster-board lining will convert this roomy summer bungalow into an all-the-year home at a fraction of the usual cost. It will be so attractive that you cannot fail to rent it if you are unable to occupy it yourself.



*Let Bossert Solve
Your Summer Vacation Problem*

BOSSERT
HOUSES





WHEN we introduced the "RADIO" Bungalow in the size of four rooms, sectional built, unlined, ready for erection, designed for the lovers of the great out-of-doors it sprang into unprecedented popularity with customers from everywhere clamoring for the "RADIO". In addition to the great demand for this house we received hundreds of requests for the same house in slightly larger sizes and slightly smaller sizes so that our engineering board have worked out the "RADIO" in six different sizes, floor plans of which are illustrated in this catalogue, so that now you have the opportunity to select the size "RADIO" that is just exactly what you want.

The "RADIO" is designed for a summer bungalow in the woods, in the mountains, by the seashore, in the country, in fact anywhere that you wish to spend your time close to nature, but these houses are so wonderful that many of our customers have wanted them lined for warmth in the winter months, so we are giving the price for the lining, which is extra, with each size floor plan.

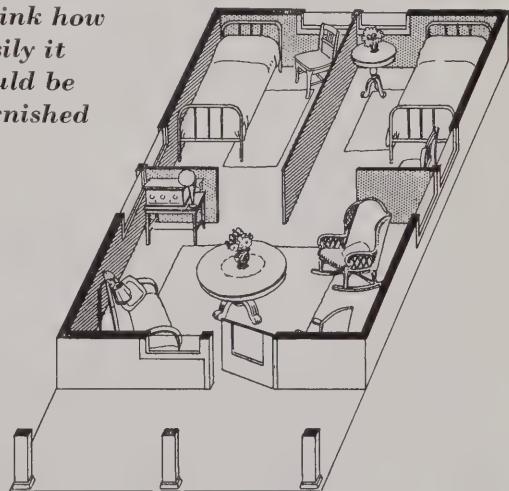
We also show sectional views of three of the houses illustrating how the furnishings may be placed and to enable you to visualize how much room there is in the "RADIO" Bungalow.

No other house offered has so many advantages for so little money and no other house has ever sprung into such popularity so quickly.

The "RADIO" is built under the Bossert patented sectional construction. It is completely built at the mill in quantities and ready to be assembled complete when received by you. It may be set on posts or stones laid on the ground, and can be erected by anyone, anywhere with little effort either on your own ground or on rented ground; you can have

it in the mountains this year and can move it to the seaside for next year if you wish as it is so easy to erect. All of the windows are casement windows opening out. All of the rooms offer the most available space for the arrangement of the furniture without that cramped, crowded condition so usual in summer bungalows.

*Think how
cosily it
could be
furnished*

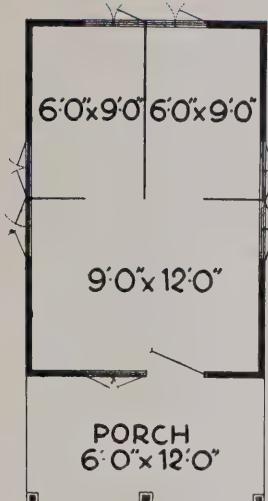


Sectional View No. 1 Plan

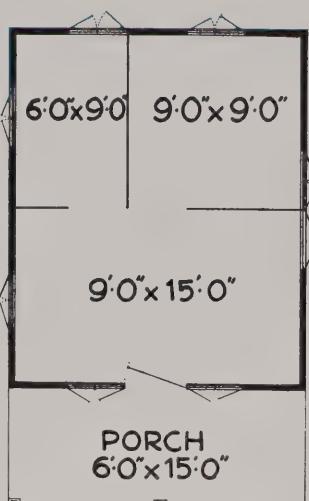


*This is the Solution to
the Annual Cottage Problem*





Plan No. 1



Plan No. 2



Plan No. 3

The walls are interchangeable, so that your living room may be on the right-hand side or the left-hand side of the house, as you desire. It is made in three-foot sections which enable you to place the sections containing the windows just where you prefer them.

One of New York's most famous architects

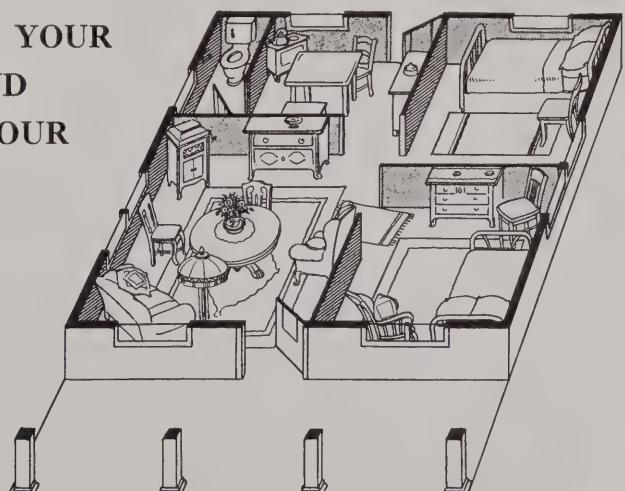
designed the "RADIO" with an eye to beauty and charm as well as utility.

Remember two or three men can easily erect it in a day or at the outside a day and a half. Nothing to do but set the post or lay some stones to rest the sills on and follow directions. You can't go wrong. You don't need carpenters or skilled mechanics.



Plan No. 4

SELECT YOUR
SIZE AND
MAIL YOUR
ORDER
TODAY!



Sectional View of No. 4 Plan

All the Glory and Joy of Summer



BOSSERT
HOUSES



Plan No. 5



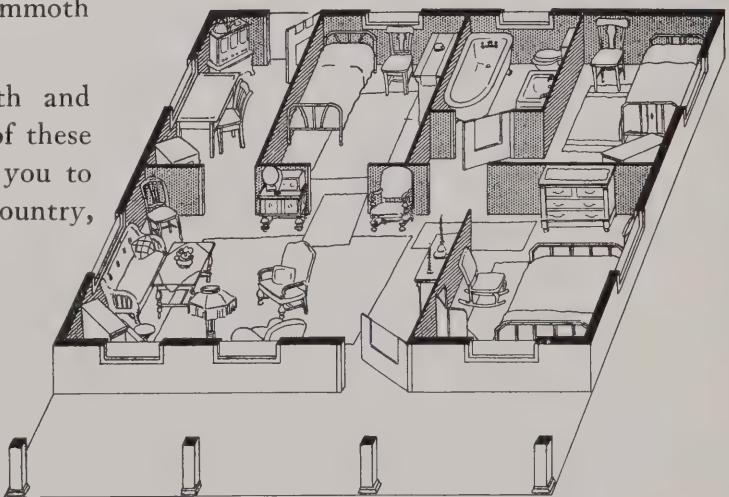
Plan No. 6

Study the floor plans of the different sizes; select the one best suited to your particular requirements; mail to us with check for 25% ($\frac{1}{4}$) of the price (balance when ready for shipment) and enjoy the most splendid, charming, practical "RADIO" Bungalow. The very low price of the "RADIO" Bungalow is made possible by their being built in quantities of 100 at a time in the mammoth Bossert plant.

Nothing offers so much in health and pleasure to the entire family as one of these "RADIO" Bungalows, as it enables you to spend all of the time you wish in the country, in the woods, in the mountains, by the seashore, in fact anywhere that your taste and inclination may call you.

**THE RADIO IS THE HOUSE
YOU HAVE BEEN WANTING
ALL THIS TIME**

**SEE PRICE LIST FOR THESE
RADIOS—ALL SIZES—LINING
EXTRA**



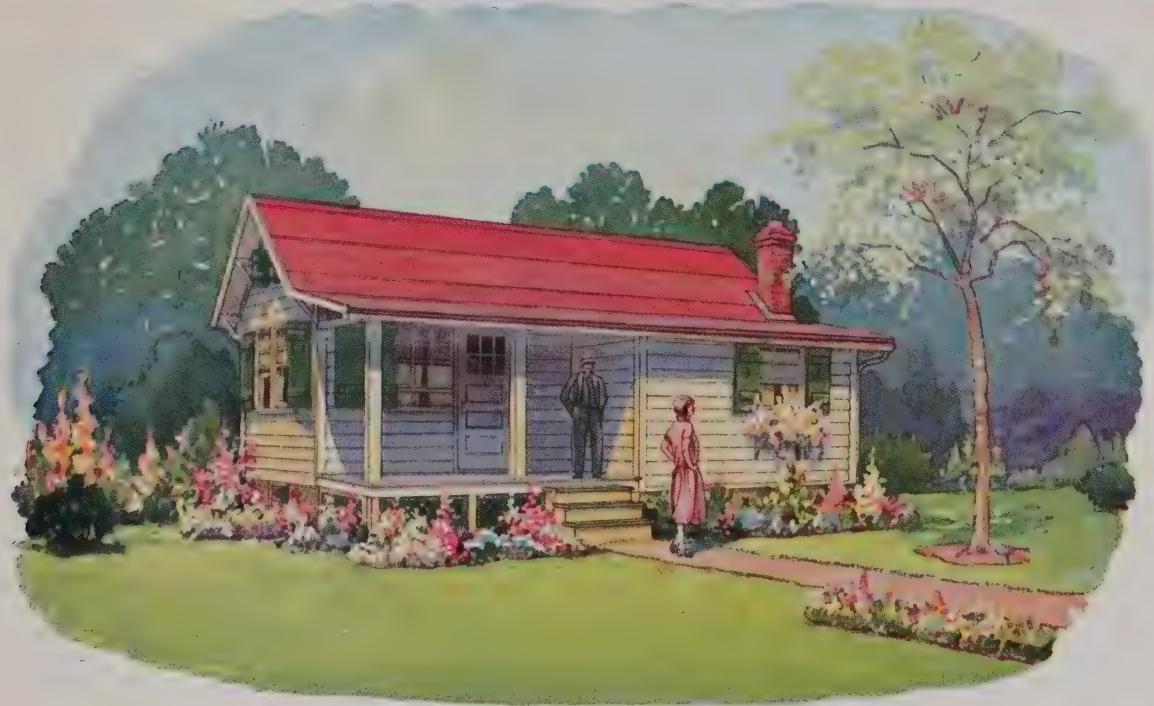
Sectional View of Plan No. 6



***Bossert Methods Are Definite
Cost Methods***

**BOSSERT
HOUSES**





THE Pocono Hills is designed and built strictly as a summer bungalow and is unlined and may be set on posts. It is supplied in clapboard finish.

So many of these houses have been purchased lined and set on a good cement or stone foundation with a good cellar and used as all-the-year homes that we draw your attention to this possibility. Plans for building your cellar and foundation are furnished gratis. This is undoubtedly the cheapest practical all-the-year house that it is possible to purchase to-day.



Floor Plan No. 1

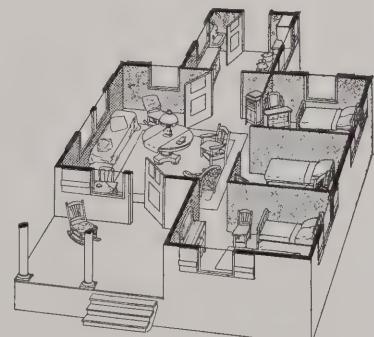


Floor Plan No. 2

FLOOR PLAN

1. Width, 24 ft. Depth, 24 ft.
2. Five rooms. Living-room is 12 x 15 ft.
3. One bedroom is 6 x 12 ft.
4. Two other bedrooms are each 6 x 9 ft.
5. The kitchen is 6 x 9 ft.
6. The porch is 6 x 12 ft.
7. If desired the porch may be made 6 x 21 ft., eliminating the 6 x 12 ft. bedroom.

The living-room has windows on three sides. One bedroom has one window; the other two have windows on two sides.



Sectional View No. 2

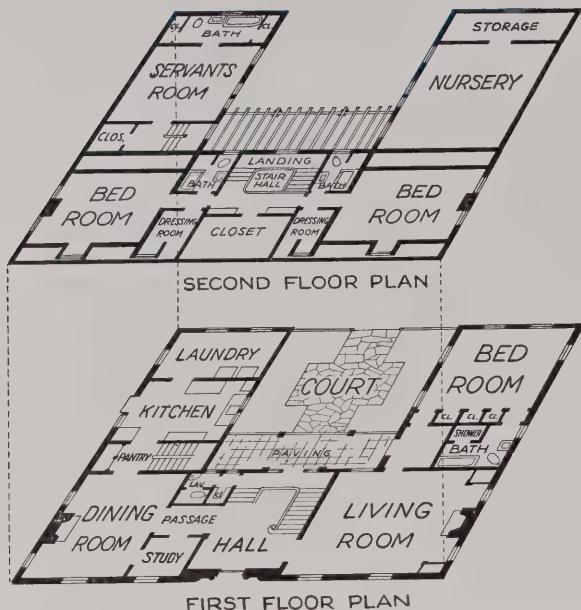


This House Solves the Servant Problem





See Frontispiece, Page 2



FLOOR PLANS IN PERSPECTIVE

The building has a frontage of 54 feet and a depth including wings of 48 feet. It is a "U" shaped structure. It consists of a main building and two wings which surround a court.

The first floor contains in the main portion, a living room, 21 feet by 21 feet, a dining room, 13 feet 6 inches by 21 feet, stairhall 12 feet wide, an office and a lavatory. In the left wing, pantry, kitchen and laundry, and stair to servant's room. In the right wing, master's bed room and bath and stairway to nursery. On the second floor, in the main part, two bed rooms, each with bath and dressing room. In the right wing, the nursery and in the left wing the maid's room and maid's bath.

The main portion of the house and each wing has its own stairway leading to the second floor.

CLEVERNESS in designing this ten-room house has resulted in a happy combination of the early Colonial and the idea of the most strict privacy for family life. The front of the dwelling is of the pure American type of 1775. In the rear two wings shelter a charming court-yard, offering the owner an out-of-door living room, which is delightful in its exclusion.

Four dormer windows adorn the front of the house, which is two stories high and has an exterior finish of shingles. Ends of the gables are flanked with two chimneys. The attractive doorway is pure Colonial in type and feeling.

There is a spacious entrance hall with a large living room opening on one side and a dining room on the other, as one enters. A study opens into the dining room and a pantry leads from the dining room into the laundry, a wonder place with arrangements for every known labor-saving device.

The mistress' bedroom is on the first floor and is connected with the nursery above by a truly intriguing staircase. There are three master bedrooms, each with complete bath. The servant's room also has a bathroom adjoining. Another feature of the sleeping rooms is the plan which includes in each suite a private dressing room.



*The Choice of Connoisseurs
Furnished Sectional Only*

BOSSEY
HOUSES





READY-CUT

THE charm of the Dutch Colonial is a never-failing source of inspiration for the home builder. The gambrel roof gracefully sweeping down to shelter the entrance door and first story windows, with its wide overhanging eave, is picturesque and entirely practical. The long dormer window effect which forms such roomy bedrooms also provides a deep closet in each room.

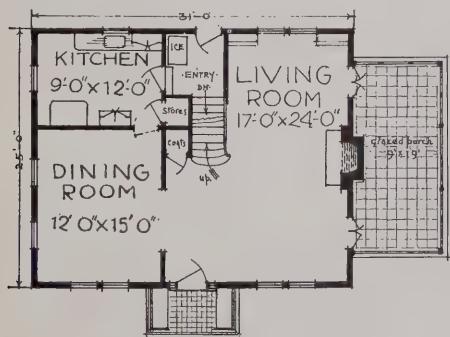
FIRST FLOOR PLAN—From the inviting terrace, with its old-fashioned high-back seats, a solid paneled entrance door (with leaded side lights) enters directly into a spacious, well proportioned living room with a beautiful glazed porch opening through French doors on each side of the generous fireplace. A coat closet is ideally placed at the left of the main stair. The dining room is well proportioned and well lighted, with good wall space for furniture. The kitchen is

so well arranged with rear entry and ice-box space so conveniently placed that a butler's pantry seems quite unnecessary.

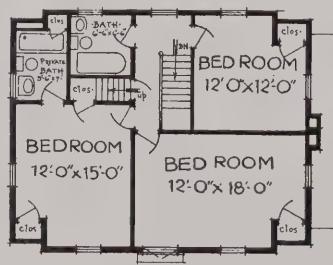
SECOND FLOOR PLAN—Is equally direct and satisfactory. There is not a foot of space lost anywhere. The bathroom is located directly over the kitchen, which means economy in plumbing. At the same time it is within a few steps of the three excellent bedrooms. A hatchway to fine storage space in the attic is reached by an easy ladder in a closet off the main hall.

THE MOST SURPRISING THING ABOUT THE DUTCH COLONIAL IS THE EXTRAORDINARY LOW PRICE. Bossert Architects have succeeded in combining many desirable features in this remarkably convenient and economical house without impairing the beauty and charm of this fascinating type.

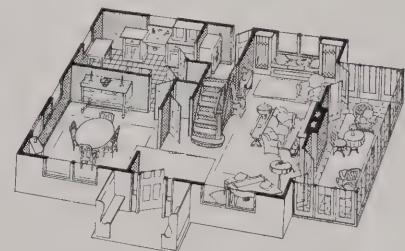
Such rare architectural effects are available to Bossert Home Builders without the time, study and expense often spent on indifferent results. Can you afford to overlook this wonderful home building opportunity?



First Floor Plan



Second Floor Plan



Sectional View



*You Only Pay Bossert For
Actual Material Used in Construction*



**BOSSERT
HOUSES**



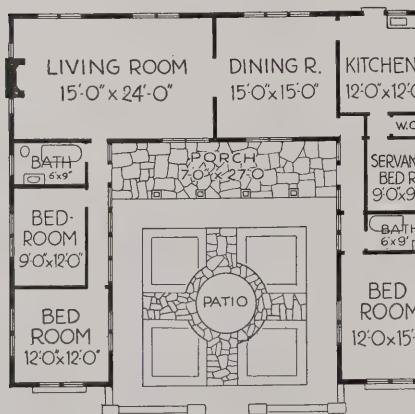
SECTIONAL

THE room arrangement of the Patio leaves nothing to be desired in the matter of comfort, convenience and spaciousness. Large, light living room and dining room; airy bedrooms, and bathrooms convenient to all occupants.

The exterior wall surfaces are covered with shingles or clapboards, but should a stucco finish be desired, these could be omitted and boards presenting an even surface, to which could be applied the wire lath and stucco, could be furnished. The simple, dignified lines of the roofs and side

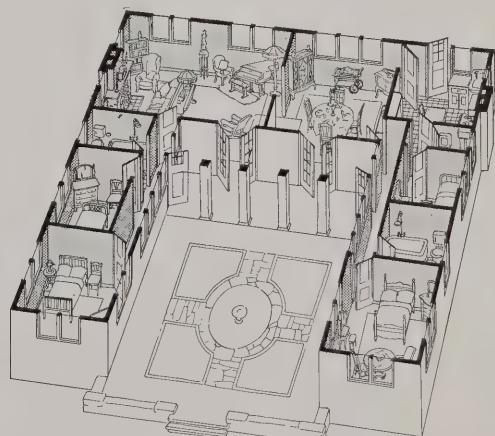
walls insure the rapid and economical erection by the Bossert Fabricated method.

READY-CUT
Material for the Patio is furnished at an extraordinary low price—moreover, you will be astonished at the amount of labor which Bossert methods



Floor Plan

save you in erection costs. Foundation plans are mailed to you on receipt of order and all materials come to you ready for instant erection without guesswork or possibility of error; window frames are put together and sash is primed and glazed, paint and suitable hardware are included. Read about the plaster-board we furnish—It is substantial, fire-proof and sanitary, it is free from cracks and does not shrink or warp—we have studied and tested building materials for fifty years and we heartily recommend it.



Sectional View



The Alluring Spanish Bungalow





READY-CUT OR FABRICATED

DIGNIFIED individuality and the utmost in design and room arrangement are the distinctive features of this interesting house.

Correct proportions demand high ceilings for the central unit containing Living and Dining Room; generous French windows opening onto a terrace on one side and long inviting porch on the other side make these veritable outdoor rooms.

Isolation of bedrooms from service wing, affording maximum of convenience and privacy, is one of the outstanding features of this attractive home.

If you have been fortunate enough to secure a suitable location the Bossert method will enable

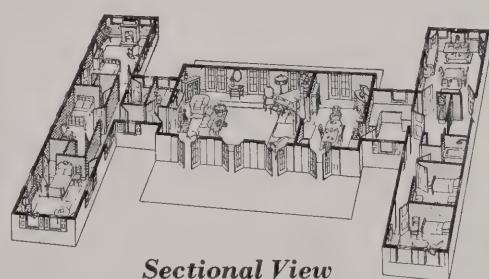
you to erect this building at a definite cost—and in a fraction of the usual building time by the fabricated method—or you can buy all the ready-cut lumber and material at a definite cost and save hundreds of dollars in the cost of erection. Foundation plans are mailed on receipt of order.

STUDY THIS IDEAL FLOOR PLAN

Absence of lost space, proportion and position of rooms are remarkable features of this floor plan, and the suggestion of stone terraces and chimneys are added features of interest for your consideration.



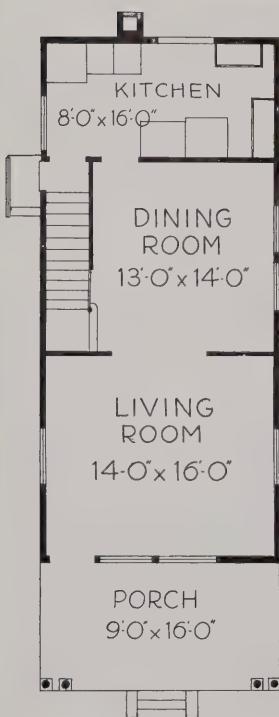
Such Rare Architectural Effects are Characteristic of all Bossert Designs



Sectional View

Will House the Family and Guests, Too

BOSSERT
HOUSES



First Floor Plan

SIX-ROOM COTTAGE WITH FRONT PORCH

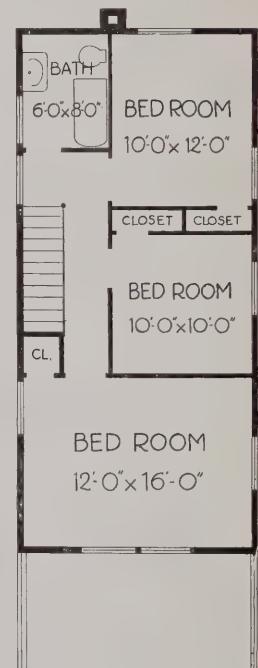
ONE of the most difficult problems in Home Building is to produce a really attractive design for a narrow plot.

The appeal of the "Suburban" even to the uninitiated is irresistible, while to the discerning home-builder the composition and straightforward simplicity of this design will mark an event in small house architecture.

The interior arrangement is just as satisfactory as the exterior and for a house of this size leaves little to be desired; every foot of space has been utilized to great advantage and the convenience and needs of a small family have been fully provided for.

The most astonishing thing about the "Suburban" is the price. Never before has a small house with such architectural refinements been obtainable without the expenditure of several hundred dollars for the services of a high-class architect.

In nearby suburbs where land is valuable it is interesting to note that a pair of these houses built on two 25-foot plots (under New York City building laws) permit the use of a common driveway to garages in the rear.



Second Floor Plan

*Own Two of These Houses and Live
in One Rent Free*





Ready-Cut with old fashioned wide shingles

For Prices and Terms see Price List.

THE "RIDGEWOOD" Model is true to type and reminiscent of the simplicity and charm that marked the best in early Colonial days.

This roomy "little" house of six rooms and bath offers a complete solution of the home building problem. The twenty foot living room extending across the entire front of the house, opening directly into the large dining room, creates a spaciousness that is most unusual in a house of this size.

The combined kitchen and pantry is another feature to be noted, as the working space is well removed from the service door to the dining room. THE SECOND FLOOR is equally well arranged, with three bedrooms, all of good size, with four good closets.



First Floor Plan

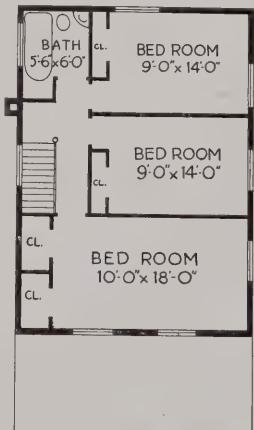


The bathroom is cleverly placed over the kitchen, which is still another economy in the important item of plumbing. Seldom is it possible to find such a combination of economies in a small home of such marked character and interest.

The Bossert method of intensive production makes it possible for you to buy all the material for this house ready for erection at a definite cost. Bossert buildings look better than the designs, and the saving in time over old methods is equivalent to more than three months' rent.

WHY NOT

Why not build a Bossert House and stop paying exorbitant rent? Let us help you! We have over 50 years' experience in knowing how!



Second Floor Plan



Don't Delay, Send Us Your Order Today

BOSSERT HOUSES



READY-CUT

To provide for varying site conditions and to meet the many requirements of the home-seeker with individual ideas this quaint little cottage has much to recommend it.

THE LIVING ROOM is unusually large; it has light on three sides. The porch and dining room opening off the two long sides creates a spaciousness that is most unexpected in a house of this size.

Combine all the desirable features of this charming cottage with the many other advantages of the

Bossert ready-cut plan and you will realize that here is a building method that makes home-building a pastime and home-owning a delight.

OTHER FEATURES of Bossert excellence in house planning include a central chimney (retaining all the heat), an ideal kitchen, good bedrooms with balcony opening off two rooms. The bathroom is located over the kitchen thereby insuring economy in plumbing. All Bossert building plans show the correct placing of plumbing fixtures and the sanitary arrangement of drain pipes.



First Floor Plan

Bossert Houses
Comply with the
New York City
Building Code

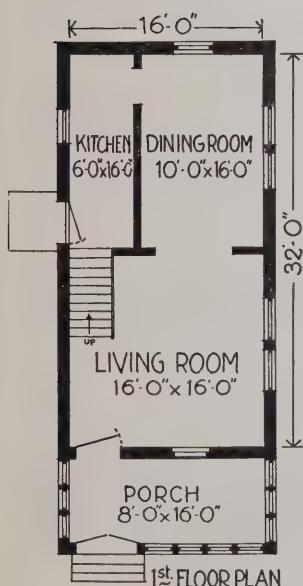


Second Floor Plan



Read About This Favorite House





Ready-Cut Home

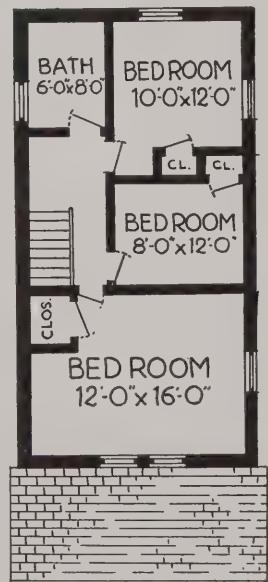
THIS six roomed suburban house merits its great popularity for city lots of 25 ft. frontage. The ideal room arrangement combined with the many conveniences so economically obtained has much to recommend it.

The enclosed porch (so simply constructed from the sash and framing which we furnish) adds another delightful sunny room and provides unusual comfort at all seasons of the year.

The Bossert Ready-Cut Plan makes it possible for you to erect this home with a speed and accuracy that will both surprise and please you.

Read carefully the description of all the Ready-Cut material. **FURNISHED THE BOSSERT WAY.**

This building conforms with the New York City Building Code for 25 ft. lots



It doubles your building profits, and cuts your carrying charges in half

BOSSERT
HOUSES



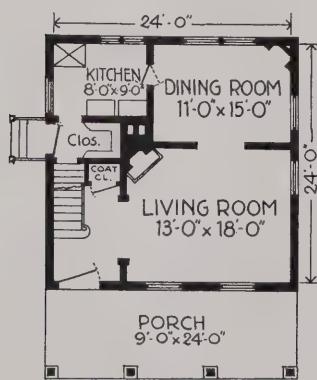
THE simple dignity of this square house has much to recommend it.

A square building of any kind is cheaper to build than any other shape; moreover, it is also the easiest building to heat, especially if the chimney is in the center of the house.

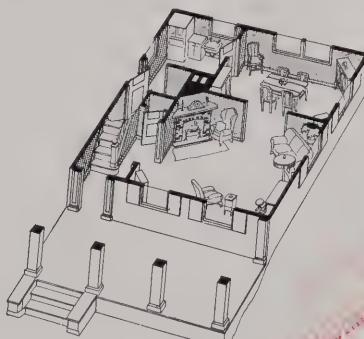
This design is therefore all the more interesting because it not only combines all of these features but in addition it possesses an unusual room arrangement.

Picture the vistas that may be obtained from Hall, Living Room, Dining Room and Porch! The stair hall is extremely effective and well placed, doing away with much loss of space.

The bedrooms are excellent, every foot of space has been utilized to great advantage and we cannot picture a more desirable Colonial house of this size with such a dignified and altogether attractive exterior.



First Floor Plan



Sectional View



Second Floor Plan

*Bossert Definite Cost
Ready-Cut Methods*



BOSSERT
HOUSES

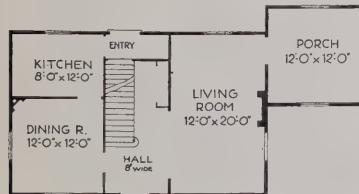




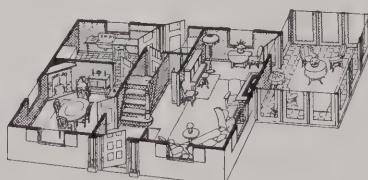
HERE is a reproduction that every lover of the Colonial period will admire. Many thousands of homeseekers look with envying eyes at the fascinating lines and wide hewn shingles of the many charming examples of this veteran type.

In the "Flushing Homestead" the discerning eye of the ardent homeseeker will find that the designer has not only caught the spirit of the style, but that he has also succeeded in obtaining an economical room arrangement with many excellent features.

Note the dignified entrance door, the low roof lines, the large windows and the screened or diamond lattice porch; all of which demands a corresponding simplicity in the treatment of the mouldings and carpentry details which are inseparable from this charming type.



First Floor Plan



Sectional View



Second Floor Plan



**Send in Your Order Today for the Flushing Homestead
Bossert Methods Insure Satisfaction**

BOSSERT
HOUSES





*A*T last we have just the garage you want for the price you wish to pay in the **RADIO GARAGE**. It is 12x18 ft., has one large window and window in each of the large double doors. This garage is sectionally built, strong and substantial as well as artistic in its lines of construction and will readily adapt itself to the artistic environment of almost any architectural or landscape gardening plan. Send us your order and have your foundation laid at once, so that on the receipt of this sectional built garage you can erect it yourself in a day's time. Carried in stock, ready for immediate shipment.

Ready-Cut Garages

can be furnished for any design or size required by the purchaser. Bossert standard specifications include all the material necessary to complete the building, including hardware, paint and nails; the usual timber sizes are as follows: Sills 4" x 6", wall studs 2" x 4", 16" O. C. $\frac{7}{8}$ " sheathing boards, 16" shingles or 6" clapboards (for side walls) and 16" shingles for roof. Stock

doors are 8' wide by 8' 6" high with glazed top panels.

A Cheaper Garage

can be built with clapboards nailed to the studing without sheathing boards, and a cheaper roof is obtained with sheathing boards covered with our slate surfaced asphalt shingles or roll roofing.

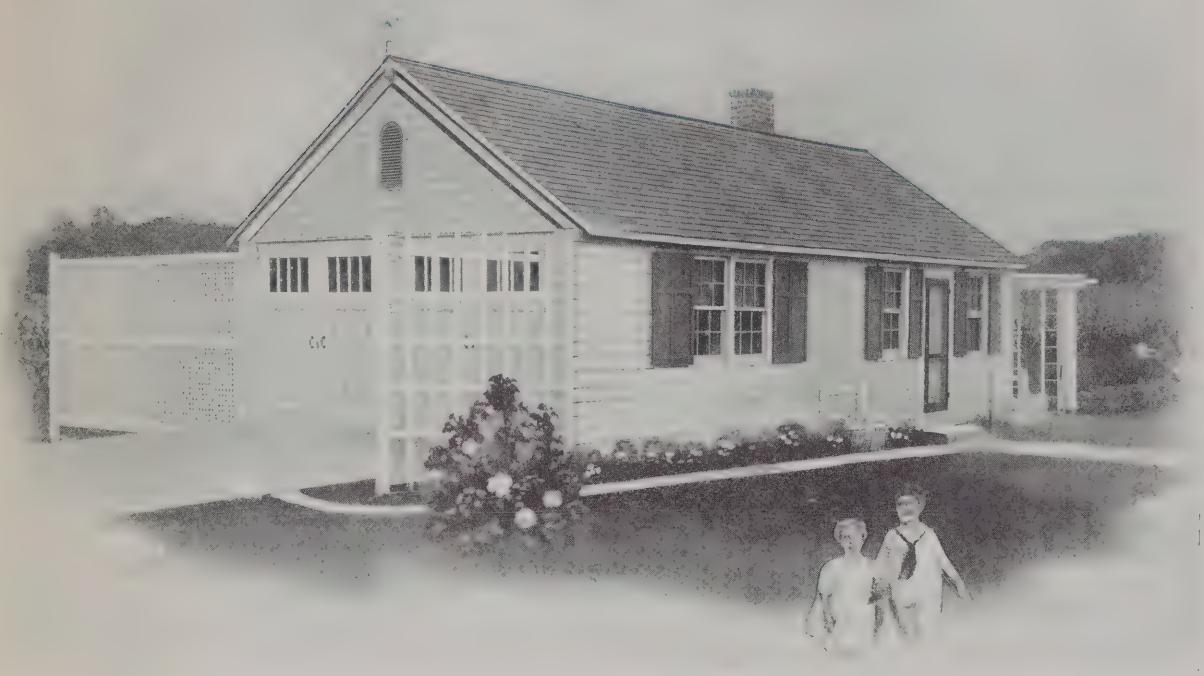
Our Price List

contains sizes and prices of standard Ready-Cut Garages. If other sizes are required send us a sketch if necessary and a description of the exterior or interior finish and roofing material desired. Our estimate will include all the material necessary to erect the building, and will save you from 25% to 40% in carpenter's labor; moreover, your garage will be better and stronger because the material is machine dressed to width and all framing lumber is accurately cut to fit; it will nail snug and close and make a solid, substantial job that cannot fail to be both pleasing and satisfactory.



***Bossert Sectional Garages
Are a Portable Asset***





Sectional Two-Car Garage—also Made Ready-Cut



THIS practical, commodious garage and chauffeur's cottage, illustrated above, has living quarters consisting of living-room, kitchen, bath, two bedrooms and pergola with a spacious two-car garage, 18 x 18 ft. It is an attractive building for any estate.

All Bossert Garages

can be combined with chauffeur's or gardener's houses to meet special requirements, and a sketch or description of the accommodations wanted will promptly bring floor plans and estimates free of charge.

*See Airplane View of Factory on
Inside Back Cover*





Sectional Two Car Garage—also Made Ready-Cut

BOSSERT SECTIONAL GARAGES are constructed in the same high class manner as our sectional houses. They are not to be compared with ordinary sectional garages which have not the interlocking weatherproof and other desirable features which characterize Bossert buildings. They are made with and without inside lining; they make permanent buildings or they can be easily taken down, moved and re-erected any number of times. This feature alone is a valuable asset on rented property, and their resale value is exceptionally high.

The Colonial Garage

is attractive and serviceable at a low price. It is 10' x 15' inside measurements. The walls are of clapboard painted one coat; the roof is crushed slate roll roofing laid over tongued and grooved boards. The doors are substantial with glazed top panels.



Sectional One Car Garage. Also Furnished Ready-Cut

*Bossert Prices Are Possible Only
Through Intensive Production Methods*



BOSSERT
HOUSES





This is a Bossert Sectional Church Built at Douglaston, Long Island



Interior of Church at Douglaston

BUILDING committees seeking plans for a Church of moderate size will find Bossert Buildings a logical and economical solution of their problem.

They are made in many sizes, and as originally erected the Bossert-built Church is a unit complete in itself, but as your needs increase new units may be added—each one dovetailing with the preceding units, each adding to the beauty and to the harmonious ensemble of the greater structure.

The double wall with confined air space, characteristic of Bossert construction, assures comfort in summer and any desired temperature during the winter months. These comforts are important items to be considered when selecting a meeting place of this character.

Church extension societies find Bossert Buildings of particular value because they can be removed or sold to a smaller community even in a neighboring city.



Bossert Churches and Schools Are an Asset to Your Community





Church at Forest Hills, Long Island

LET us help you with this uplifting work. Write us about your special needs, tell us the size of your plot and the amount of money you would like to spend.

Community Houses

Most communities in the past few years have realized the great advantage of establishing and maintaining a community house.

These community houses have proven a wonderful aid to the moral, social, and religious welfare of the communities and are utilized for every conceivable purpose as meeting places for the residents of the community.

Space does not permit us to illustrate our many types of portable community houses but if you will communicate with us, giving us information as to your requirements, we will gladly submit sketches and estimates and further information for your approval.



Interior of Church at Forest Hills

Read These Testimonials

*The Diocese of Long Island
Archdeaconry of Queens and Nassau
Garden City, N. Y.,
May 11, 1920.*

Gentlemen:

Replying to your letter of recent date, I am glad to commend your portable churches to any persons interested and will say that I have found them very satisfactory in the past.

*Yours truly,
Roy Farrel Duffield, Archdeacon.*



*There Is No Other Building Method
So Quick and Satisfactory*





Lido Club of Long Beach

WHEREVER you find a Bossert-built Club House you will find a host of admirers of the Bossert method of construction.

This patented system permits of such freedom and flexibility of design and arrangement that every detail can be made exactly right for the peculiar needs of the organization—whether large or small.

And its desirable features do not stop here.

As the club grows—as the needs of the members increase, or as changing conditions may dictate—additions and alterations are easily and economically made. This means a building that is always up-to-date and always convenient.

The model illustrated here has many commendable features. Note its harmonious proportions; the liberal provisions for light and air in every room; the commodious porch and the sturdy construction of the entire building. Every detail suggests freedom, cool comfort and hospitality.

The interior is equally inviting. A roomy lounge, with beam ceiling, fireplace and excellent floor space for cozy grouping of chairs, tables and settees. It serves perfectly its purpose as a gathering place for club members seeking comfort, rest and recreation.

Bossert experts will gladly help you plan a specially designed Club House to meet the needs of your organization—one that will blend with your club grounds and remain a lasting credit to your good judgment.

A brief outline of your general requirements will bring you interesting and valuable suggestions.



Port Washington Hospital

Bossert Buildings Are Built Before They Leave the Factory. They Are Merely Erected at the Site





Bossert School Buildings

BOSSERT School Buildings have given complete satisfaction wherever they have been erected. They comply with all requirements for light and air. Many have been fitted with "Austral" windows and special ventilation systems. Let us tell you more about our school buildings.

Nothing is so important to the welfare of a community as school buildings which are properly designed to meet all of the requirements for the efficiency of present day methods in our advance system of education.

In addition to these requirements it is essential and of the utmost importance that the school rooms be light, cheerful and amply ventilated so that the pupils may enjoy healthful, pleasant environment while acquiring their education.

Many communities have solved all of these difficulties by using Bossert schools, especially in

communities requiring comparatively smaller sized school buildings.

Any Superintendent of Schools or Board of Education who will communicate with us stating their requirements, problems, and conditions which they have to contend with will receive, promptly, advice and suggestions from our Board of Engineers and Architects, which will be invaluable to them.

Chester, Pa., May 15, 1920.
Messrs. Louis Bossert & Sons, Inc.,
Brooklyn, N. Y.

Dear Sirs:

The Bossert Portable school house which we put into service about the first of November, in 1919, has served our purpose well.

It makes an attractive school house, pleasant and comfortable for the occupants. Our dealings with the firm have been very satisfactory.

Yours very truly,
Chas. A. Wagner, Supt.



***Sunshine and Fresh Air Are Features
in Bossert School Houses***



**BOSSERT
HOUSES**

Partial List of Purchasers

NEW YORK

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Jno. G. Hines
Fred Berger
Brooklyn Y. M. C. A.
A. Dunton Colyer
Leonard Lebita
Elliott B. Ogden
Jas. Campbell
Mrs. Anna Friel
Louis Einold
O. Hartman

New York City
U. S. Volunteer Life Saving Corps (3)
Bellevue and Allied Hospitals
Deutsche Journal
Vacuum Oil Co.
U. S. Wood Preserving Co.
John Simmons & Co.
Lewisohn Bros.
John F. Kieran
Bliss, Dallett & Co.
Department Quartermaster (3)
N. Y. Arsenal
Huylers (3)
Jno. F. Gill
E. F. Hargrave
C. A. Griscom
Harry B. Mitchell
G. H. Miller
Dr. Flavius Packer (3)
S. C. Beckwith Spec. Agency
Panama Railroad & Steamship Co.
War Department, U. S. Gov.
Martha Robertson
Savage Arms Corp.
Blanch Slocum
C. H. Barson
A. B. Martin
Catherine Moessner
J. B. Winstanley
Ormond E. Lewis
Beatrice Cunardi
R. Edward Begley
Hyman Schaeffer
General Elec. Co.
Warren Sumner
International Sunshine Society
C. W. Beach (2)
Vincent Copitini
W. E. Bushnell
General Elec. Co.
Office Quartermaster

LONG ISLAND

Bay Shore
Geo. A. Ellis
Ernest Keller
Edward Straub
May E. Solmen
Elsie Orchiedt
J. T. White
Oyster Bay
Geo. D. Brighton
Nelson Doubleday
Frank C. Page (2)
J. A. Ripley
Great Neck
Great Neck Golf and Country Club (5)
Lee Rosenberg
C. H. Goddard (3)
Wm. E. Wagner
Huntington
Merideth Hare
Francis M. Weld (3)
H. B. Gibson (2)
Jno. Elverson
Marion H. Oliphant
Douglaston
Rev. Jno. J. Clark (Church)
W. H. Van Steenbergh
Park Mathewson
J. M. Debans
Port Washington
Mildred Eagle Fell
Port Washington Hospital
J. S. Browning
Edward Luckenbach
Francis Hoffman
No. Hempstead Country Club
Jamaica
G. W. Hoagland
Phil Haslach
Louis J. Schuck
Dickil Construction Co.
Home Lawn Crest Realty Corp.
Barron G. Collier, Inc. (2)
Broad Channel
Jos. P. Day
Jas. Groves
Marcus Peyson (4)

Eugene Bollerman
Adolph Hammer
H. Armington
Miss Anna Rucker
Speonk
H. H. Royce
Ludwig Fariara
Jericho
Mrs. Barger Wallach
Walter S. Maynard
Westbury
Russel B. Smith
E. D. Morgan
Sidney S. Whelan
Howard Beach
Howard Estates Development Co. (3)
Amityville
Alexander Teneau
Dennis O'Brien
Edgar Whitmore
Forest Hills
Diocesan Mission of L. I.
Bayside
J. H. Ridenour (2)
Bayside Links, Inc.
Roslyn
J. H. Albere (2)
Herman Gold
Teresa O'Neil Snyder
Freeport
August K. Braun
Geo. W. Powell
Albert Conzer
Cold Spring Harbor
I. R. Oeland
Hempstead
Chas. Maggio
Town of Hempstead
O. L. Schwencke
Frank A. Bruzzo
Woodmere
J. H. Burton
Teresa M. Rocke
Manorville
V. Bohlinger
Mill Neck
C. S. Kerr
Irving Brokaw (6)
Locust Valley
Geo. F. Baker, Jr. (2)
E. M. Cravath
Geo. J. Bourne (2)
P. A. Franklin
College Point
M. O'Hara
Dunton
Alfred Mussinan
Maspeth
Mrs. M. Weil
Aug. M. Quis
Hicksville
Anthony Fassullo
A. Colosso
Montauk
P. B. Eaton
Elmhurst
E. H. Ducker
Geo. A. Mergler
Marlboro
E. W. Dart
Sayville
Jno. F. Hughes
Far Rockaway
W. R. MacLean
J. J. O'Grady (8)
Sag Harbor
Mrs. J. Herman Aldrich
Southampton
E. G. Whittaker
F. B. Flagg
Islip
John H. Allen
Oceanside
A. K. Bonning
South Jamesport
C. L. Berger
Seaford
F. Holmes
East Setauket
Thos. C. Cardwell
East Quogue
Henry Behr
Quogue
Miss F. D. Benedict
Patchogue
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Flushing
Samuel B. Ridder
Richard Hellerman
J. H. Ridenour
Goodman Bros.
Eaton Land Co.
Long Island City
John Fletcher
Port Jefferson
Walter Reed

Little Village
R. C. Benjes
Brookville
J. Harvey Ladew
Whitestone
Mrs. L. B. Dunn
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Florence E. Winters
Union Course
Chevron Realty Co.
Aqueduct
John Hoge
Rockaway Beach
Walter L. Allen
Rosedale
Clara M. Roby
Floral Park
Rev. R. F. Duffield
St. James
C. Temple Emmet
East Rockaway
J. J. Mackin
Glen Head
North Shore Realty Co.
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Edith D. Collins
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M. Merrill
Greenport
Chauncey Marshall
Inwood
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M. W. Gunton
Yaphank
Brooklyn Daily Eagle
Sea Cliff
Miss Eilers
Garden City
Don Parker
Glen Curtiss
J. E. O'Neill
R. M. Cleveland
Richmond Hill
C. W. Rugen
Mineola
Red Cross, Nassau Co. Chapter
Centerport
Emma Scherrf
Plandome
Raymond Brown
Southold
Mary C. Scherrf
Lucy M. Leicht
Corona
Degnon Realty Co.
Corona Heights
Valentine Hoffman
Lincoln Heights
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Riley Bros.
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Bartasek & Burger
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Russell D. Perkins
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S. C. Brusewitz
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Margaret Schaefer
Chas. Webber
E. E. Meechan & Son
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Grace E. Wright
Rockaway Point
Jos. Schuh
Hollis
Geo. Mayer
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Presbytery of Brooklyn
Austin, Nichols & Co. (5)
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John Zemetra
Q. Salvaty
Angelo Zummo
Obermeyer & Leibmann
Evergreen Cemetery
Western Elec. Co.
Louis Marchant
Brooklyn Free Kindergarten
John W. McGrath
Wm. Vogel & Bros.
Earl Hanson
Sunset Hotel Corp.
Wm. E. Harmon & Co.
William Nolan

C. L. Brown
Jno. Dwyer
Jewish Welfare Board
Beckay Realty Co.
H. C. Morgan
Geo. M. Clark
St. Catherine's Hospital
Fred Gebhardt
M. W. Kellogg & Co.

Long Beach

G. H. Bennett (3)
M. A. Jackson
Martha M. Allen
Mrs. C. Horsbrough
W. I. Friedman
C. Brenowitz
J. Overgell
J. Brenowitz
Florence Robbins
L. C. Lawrence
E. Fanning
Helen Heitman
N. T. Kelly
H. A. Crowe (2)
L. C. Jones
Paul E. Meyer
Anna M. Davis
A. Gennonsky
M. Solomon
A. M. Neals
E. H. Haynes
Anna Walsh (4)
Stephen Smith
Nettie Goodman (2)
Mrs. H. Feeley
Lillie S. Gumbs
Mary A. Daffley (2)
Mary E. Butler
R. G. Fromert (2)
Wilbur Draper
Lulu May
Mary E. Kenny
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Paul Stahr (2)
Vincent Valcor
Arnold Genthe
Marguerite O'Donnell
Hele B. Smith
Burton O. Gibb
Jas. C. Mouat
Edward Cains
H. F. Gurney
The Lawden Co.
W. I. Wampler (2)
M. W. Gibbons
Otto Nikly
S. M. Wood
Francis M. Valk
Wm. Ruebin
Sunset Bungalow Co. (70)
Chas. Baran
Chas. B. Lee
Lido Corporation
W. H. Reynolds (150)
H. F. Teed
Dr. Wm. Moser
Elmohar Co.

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East Orange
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F. W. Hilger
South Orange
J. L. Sherman
West Orange
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Mrs. Clara Denby
Ridgewood
Helen Ludlum
A. Carleton
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Sadie Butcher
Boonton
Henry E. Butler
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Marlboro
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Camp Exchange (2)
Verona
Ella F. Lyons
Grantwood
A. Bischoff
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Edward C. Thomas
E. J. Skeele
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Cecil Isner
Josephine Isner

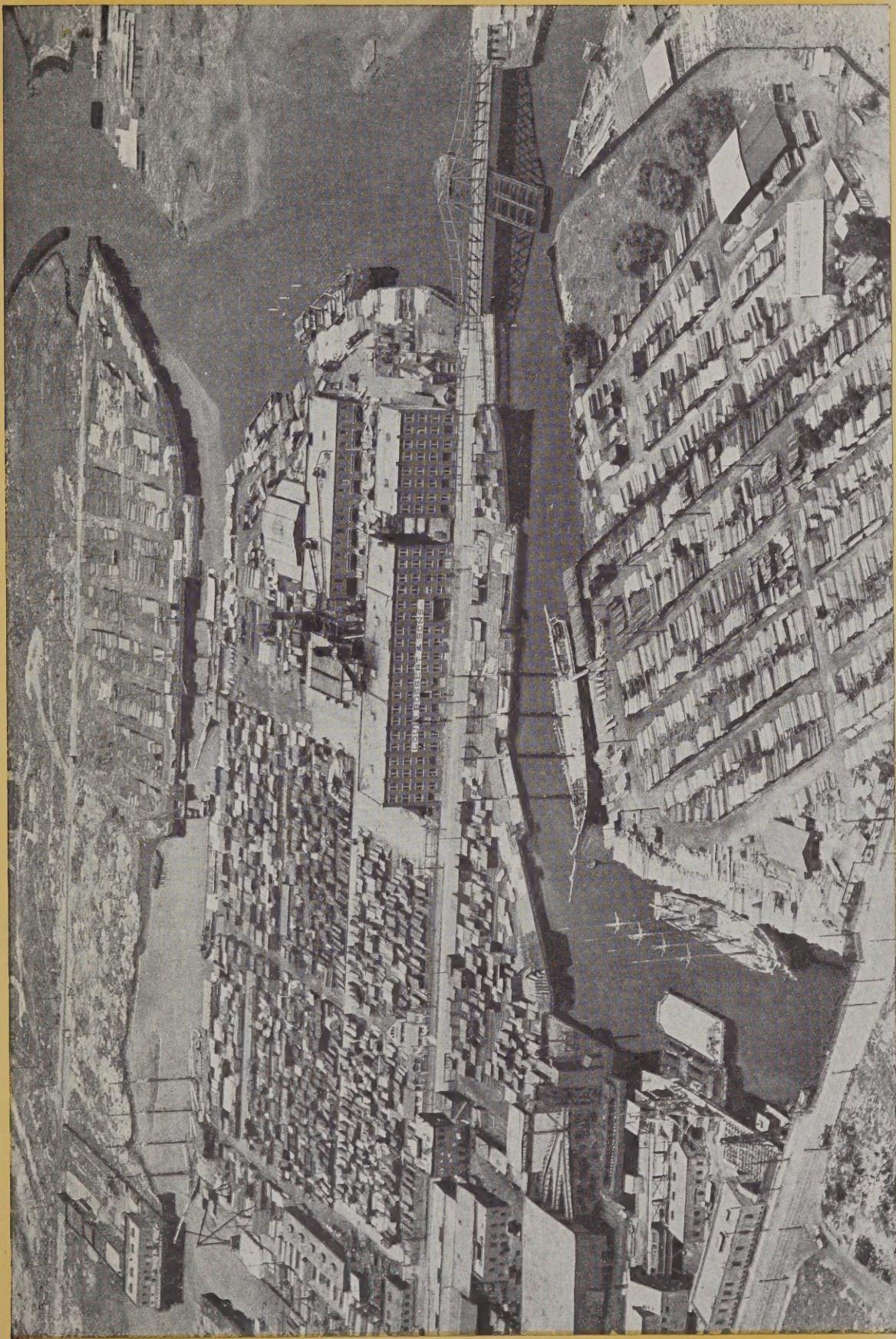
MANY OF THESE HAVE BOUGHT SECOND AND THIRD BOSSERT HOUSES

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Rahway Three-in-one Oil Co. Anthony R. Wendall	Stamford, Conn. E. Gerli (2) James Morrison Lillie Wehrle J. Phelps Stokes (2)	Millwood, N. Y. Alice L. Thorne (3)	Newburgh, N. Y. Dr. H. L. Barnum (2)
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Elizabeth Rev. Florian Widman	South Norwalk, Conn. Mrs. A. A. Birkland	Bantam, Conn. Oliver R. Garland	Ft. Montgomery, N. Y. N. Y. Evening Post (2)
New Brunswick Frank Riggs Hugh Boyd	Hamford, Conn. Southfield Portland Cement Co.	Montrose Farm, West. Co., N. Y. Adolf Prickens	Fishers Island, N. Y. Sara O. Brice
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Mountville Mrs. G. Gorman	Irvington-on-Hudson, N. Y. Alfred Stanley Conges	Perryville, Md. U. S. America Ordnance Dept.	East Longmeadow, Mass. Kurt O. Weidlich
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Wharton Empire Steel & Iron Co.	Lake Mohegan, N. Y. E. Brown	Italy Maud Genovese Gozzale	Bethayres, Pa. Eugene R. Shippen
East Germantown R. C. St. George	Norfolk, Conn. Barbara Klemmer	Iceland Hannevig & Johnson	St. Leonards, Buck Co., Pa. Theo. P. Shonts
Branchport Jno H. Carson	Chappaqua, N. Y. S. W. Childs	San Salvador Rockefeller Foundation	Erie, Pa. Jas. Thompson
Madison Edward A. Rosenfeld	Essex, Conn. Henry Steers	France Geo. Morgensen, Export (2)	Bethayres, Pa. Herbert Johnson
Westwood Edward H. Haynes	Throggs Neck, N. Y. Martha Conden	Miami, Fla. Foster, Reynolds & Co.	Reading, Pa. Rev. A. V. Casselman (3)
Atlantic City Paul Cleland	Greenacres, N. Y. Robert E. Farley	Elk Ridge, Md. Barron G. Collier	Villa Nova, Pa. Jno. R. Maxwell
Keansburg Mrs. Andrew Wilson (2)	Woods of Larchmont, N. Y. Chas. Martens	Kingsport, Tenn. Ford, Bacon & Davis (6)	New Castle, Pa. Geo. C. Stone
Paterson Francisco Tescione	New Rochelle, N. Y. Wm. S. Beers	Shelburne, Vt. Clarence Morgan	Green Lane, Pa. Rev. Wm. Buesser
Spring Lake Mrs. F. A. C. Perrine	Ardsley, N. Y. J. W. Crawford	Woodstock, Vt. Bella B. Hurlburt	Wildwood, Pa. Mrs. Frank Moore
Rumson Frederick C. Beck	Pelham, N. Y. Chas. O. Jahnonot	Dorset, Vt. Alan De Schweinitz	Shohola, Pa. Ferncliff Lodge (2)
Metuchen W. P. Pattison	Darien, Conn. Wilbur Beach	Bennington, Vt. Morton D. Hull	Buck Hill Falls, Pa. Susan P. Wharton
West Nutley Geo. P. Krehbiel	Sound Beach, Conn. Sound Beach Summer Home Corp.	Charleston, W. Va. Conklin Bros.	Chester, Pa. Chester Board of Education
	Milford, Conn. The Clark Land Co.	Elk Park, N. Y. N. A. Hamann	Marcus Hook, Pa. W. H. Reddy
	Unionville, N. Y. Roy G. Reynolds	Saratoga Springs, N. Y. F. X. Bissell	Lancaster, Pa. H. M. Heidelbaugh
	Pleasantville, N. Y. Miss Sara E. Choate	Cold Spring, N. Y. Raymond Healy	West Hartford, Conn. Miss Edith Beach
	Yonkers, N. Y. Miss Emily Carroll	Rome, N. Y. Mary H. Thomas	New Haven, Conn. Marlin Arms Corp.
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	Bedford, N. Y. Edward O'Brien	Watertown, N. Y. Emma F. Taylor	Hudson, Ohio W. M. Lusk
	Stonington, Conn. Edward P. York	Shelter Island, N. Y. Geo. Bergfeld & Co. (2)	Wickliff, Ohio Chas. G. Raynor
		Fulton Chain, N. Y. Justin B. Ward (2)	East Ely, Nevada Ethel Kraft
		Rome, N. Y. Rome Brass & Copper Co.	Winchester, Ky. Cumberland Pipe Line Co.
		Goshen, N. Y. Marion Farms, Inc. (2)	Newport, R. I. John Bene
		East Aurora, N. Y. Francis H. Larkin	Lakemont, Ga. W. S. Whitman
			Eldorado, Ark. Kingford Goodman (3)
			Odessa, Del. Delaware School Auxiliary (2)
			Smyrna, Del. Delaware School Auxiliary
			Newark, Del. Delaware School Auxiliary
			Peterboro, N. H. Isobel Gross

WE WOULD LIKE TO ADD YOUR NAME

AIRPLANE VIEW OF OUR PLANT COVERING OVER 32 ACRES.





**BOSSERT
HOUSES**